



PLANNING COMMISSION – REGULAR MEETING

Township Board Room – 8555 Kalamazoo Ave SE, Caledonia, MI 49316

DRAFT Agenda

7:00 p.m. – Thursday, February 26th, 2026

1. Call to Order and Roll Call
2. Consideration of Agenda
3. Consideration of **January 22nd, 2026**, Meeting Minutes
4. Inquiry of Conflict of Interest
5. Public Comment
6. Items for Consideration
 - A. 6729 Hanna Lake Avenue – Site Plan Review – Dutton Christian School Gymnasium
 - B. **Public Hearing**; 6929 Hammond Avenue – Special Use Permit, Oversized Accessory Building
 - C. **Public Hearing**; 2110 100th Street SE & 10688 Kalamazoo Avenue – Special Use Permit, Mineral Extraction - **will be withdrawn at meeting**
 - D. **Public Hearing**; 7285 Eastern – Rezoning from Suburban Residential to Village Residential – **will be withdrawn at meeting**
7. General Discussion
 - A. Election of Officers
8. Adjournment

Persons with disabilities needing special accommodations should contact Kim Triplett at (616) 698-6640 at least one week prior to the meeting to request mobility, visual, auditory, or any other assistance.

DRAFT Minutes of the Gaines Charter Township Planning Commission

Regular Meeting held January 22nd, 2026, at 7 pm

8555 Kalamazoo Ave., SE, Caledonia, MI 49316

MEMBERS PRESENT: Rober, Haagsma, Giarmo, Billips, Waayenberg

MEMBERS ABSENT: Thomas and Wiersema, with notice.

STAFF PRESENT: Dan Wells, Community Development Director; Dakota Swan, Assistant Planner

1. CALL TO ORDER AND ROLL CALL

Chair Giarmo called the meeting to order at 7:01 PM.

2. CONSIDERATION OF MEETING AGENDA

The agenda was approved as presented.

3. CONSIDERATION OF MEETING MINUTES

Consideration of the December 18th, 2025, regular Planning Commission meeting minutes.

Motion: Motion by Haagsma, supported by Rober to approve the minutes of December 18th, 2025.

DISCUSSION:

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

4. INQUIRY OF CONFLICT OF INTEREST

None.

5. PUBLIC COMMENT

None.

6. ITEMS FOR CONSIDERATION

A. Public Hearing; 6729 Hanna Lake Avenue SE – Special Use Permit, Electronic Messaging Center in Suburban Residential

Mike Tiesma of Midwest Sign Company explained that the request for a special use permit to allow for an electronic changeable message center (ECM) follows on the heels of a recent text amendment to the Zoning Ordinance, also requested by Midwest Sign Company. Regulations and requirements for ECM's became more restrictive in the updated Zoning Ordinance (Adopted April 2025) and prohibit ECM's in residential zoning districts; Midwest Sign company amended the Zoning Ordinance to allow ECM's in residential zoning districts, only for institutional users, with the issuance of a special use permit. The proposed special use permit is associated with a 36 square-foot ECM for Dutton Christian School. Tiesma clarified that the sign will be compliant with the updated hours of operation as outlined in the text amendment, and it will be located near the entrance on 68th Street.

Planner Wells noted that all applicable standards of review pertaining to both signage and lighting have been satisfied, and that ECM's are fairly typical for institutional users in the Township. The proposed use is compatible with nearby land uses, and staff has determined that the request is consistent with the intent of the Master Plan and Zoning Ordinance.

Chair Giarmo opened and closed the public hearing.

Commissioner Waayenberg said that since the Zoning Ordinance was recently amended to accommodate requests as such, and since all applicable standards of review are met, he does not see anything about this application that raises question or concern.

Motion: Motion by Waayenberg, supported by Haagsma to approve the request for a special use permit at 6729 Hanna Lake Avenue to allow for an ECM sign in the Suburban Residential zoning district without conditions.

DISCUSSION:

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

B. Public Hearing; 8390 84th Street – Zoning Reversion

Planner Wells explained that the request for a zoning reversion at 8390 84th Street has been initiated administratively, therefore there is no applicant for this project. In 2022 the subject parcel was conditionally rezoned from Low-Density Residential (RL-10) to Neighborhood Commercial (NC) with the intention of building a neighborhood gathering space on the property. Negotiations took place in hopes that the property owner would be able to acquire additional land for a septic drain field, as public sewer service is available across the street, but it would be prohibitively expensive for the property owner to connect. The owner still desires to undertake this project; however, more time and finances are necessary to bring the project into fruition.

Section 31.50.G of the Gaines Charter Township Zoning Ordinance stipulates that if no significant progress is made within one year of conditional rezoning approval, the subject parcel will revert back to the previous zoning designation. In this case, the parcel would revert back to RL-10, which constitutes as Suburban Residential zoning under the current ordinance. Wells noted that the property owner expressed a desire to rezone the property to straight Neighborhood Commercial zoning, which accounts for his intended end use, and would offer flexibility in setback requirements, as conditional rezonings entail very restrictive and specific dimensional requirements. This agenda item serves as two processes in one: reverting the conditional rezoning in tandem with a rezoning to Neighborhood Commercial.

Wells stated that both actions associated with this request are consistent with the intent of both the Master Plan and Zoning Ordinance; this parcel is future zoned for Neighborhood Commercial use, and the action will not have any negative impacts on surrounding properties. Staff finds that rezoning this parcel to NC is more appropriate than leaving it zoned residentially, given the location, layout of the parcel, and surrounding land uses.

Chair Giarmo opened and closed the public hearing.

Commissioner Haagsma inquired to clarify that this agenda item will require two motions and two recommendations to the Township Board, which Planner Wells confirmed.

Chair Giarmo noted that at the time of the initial rezoning, a conditional rezone was preferable by the Planning Commission to ensure that the use of the property would be appropriate. Permitted uses in the Neighborhood Commercial zoning district have since been modified to reflect appropriate commercial or office uses in a neighborhood setting, which negates the need for a conditional rezone this time around; the Planning Commission finds that any use permitted in the NC zoning district would be appropriate for the subject property.

Motion: Motion by Waayenberg, supported by Haagsma, to make a recommendation that the Township Board rescind the conditional rezone issued in 2022 for 8390 84th Street SE.

DISCUSSION:

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

Motion: Motion by Haagsma, supported by Rober, to make a positive recommendation to the Township Board for a rezoning from Suburban Residential (SR) to Neighborhood Commercial (NC) at 8390 84th Street SE.

DISCUSSION:

AYES: All

NAYS: None
ABSTAIN: None
DECISION: Motion Carried (5-0)

C. Public Hearing; 900 100th Street – Annual Review, Stoneco 100th Street Operation

Stoneco of Michigan is required to appear before the Sand and Gravel Subcommittee and the Planning Commission for an annual review and operating plan. The Sand and Gravel Subcommittee met on December 10th, 2025, and made a positive recommendation to the Planning Commission for the 2025 Annual Review and 2026 Operating Plan. Application materials indicate that rehabilitation and restoration work will begin at the north end of the parcel in 2026 as mining operations move southward. Stoneco intends to use topsoil removed from the south end of the parcel to fill mined areas at the north end of the parcel.

Chair Giarmo opened and closed the public hearing.

Vice Chair Rober inquired about when the site may be buildable; Planner Wells noted that the site may be best suited for open space preservation, as installing septic infrastructure after restoration is often challenging. Commissioner Waayenberg inquired about whether staff has received any complaints from neighbors about the mine; Planner Wells responded that there were some complaints when land was being cleared and stumps were being burned, but besides that, staff has not received any complaints about the operation.

Commissioner Haagsma inquired about removal of the 100-foot setback on the site; Planner Wells responded that the 100-foot setback depicted on the corresponding site plans is likely a remnant of Stoneco's original site plan and should not be on the current materials. Stoneco intends to get rid of setbacks to level out the existing berm as best as they can. Planner Wells clarified that Stoneco has collaborated with adjacent property owners on this matter. Chair Giarmo inquired to clarify that Stoneco anticipates being finished extracting materials from this site by the end of 2026; Planner Wells confirmed this and clarified that they have run out of material on this site to warrant further mining.

Motion: Motion by Waayenberg, supported by Rober to approve the 2025/2026 Annual Report and Operating Plan for Stoneco of Michigan's 100th Street Operation, located at 10287 Kalamazoo Avenue SE.

DISCUSSION:

AYES: All
NAYS: None
ABSTAIN: None
DECISION: Motion Carried (5-0)

D. 6925 Dutton Industrial Drive – Site Plan Review – Kamps Hardwoods Expansion

Brock Mellema of FCC Construction Company explained that Kamps Hardwoods is expanding their facilities to increase storage space for raw materials awaiting production. At the December 18th, 2025, Planning Commission meeting, this request for site plan review was postponed due to inconsistencies and noncompliance in the provided site plans. Mellema noted that the two buildings proposed to be within rear setbacks have since been addressed, in addition to parking modifications.

Commissioner Waayenberg inquired about the Township Engineer's report and whether the Planning Commission should impose a condition of approval requiring the applicant to get approval from the Township Engineer; Planner Wells responded that the applicant will be required to adhere to the Township Engineer's feedback regardless of if a condition is imposed.

Motion:	Motion by Waayenberg, supported by Billips to approve the site plan review for Kamps Hardwoods' 28,647 square-foot expansion, located at 6925 Dutton Industrial Drive, with no conditions.
DISCUSSION:	
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

7. General Discussion

Planner Wells offered the Planning Commission a preview of the meeting agenda for February 26th, 2026.

8. Adjournment

The meeting adjourned at 7:55 PM.

CERTIFICATION:

I hereby certify that the above is a true copy of the minutes from the December 18th, 2025, Planning Commission Meeting of the Gaines Charter Township Planning Commission held at the time and place mentioned above pursuant to the required statutory procedures.

Respectfully submitted,

Lani Thomas,

Secretary

Gaines Charter Township Planning Commission

Date: _____



PLANNING COMMISSION

Meeting Date: February 26th, 2026

AGENDA ITEM: 6.A

APPLICANT: Alexander DePoy, Dan Vos
Construction Company

REQUEST: Site Plan Review

ZONING AND PROPERTY SIZE:
Suburban Residential (SR), 24.2 acres

ADDRESS: 6729 Hanna Lake Avenue

REPORT BY: Dakota Swan, Assistant
Planner



OVERVIEW:

The applicant is requesting site plan review for a proposed expansion at Dutton Christian School, which are Phases 5 and 6 of the master plan for Dutton Christian's campus. The expansion is intended to house a gymnasium (Phase 5, 30,028 square feet), several classrooms, and a music room (Phase 6, 15,802 square feet). A total of 45,830 square feet of building additions is proposed. The submitted site plans also include a 1,536 square-foot accessory building to the west of the main building, intended to be used for housing property maintenance equipment. The applicant has submitted additional details pertaining to lighting, drainage, and stormwater controls.

SURROUNDING ZONING:

	NORTH: Suburban Residential (SR)	
WEST: Suburban Residential (SR)	SUBJECT PARCEL	EAST: Neighborhood Commercial (NC)/ Light Industrial (LI)
	SOUTH: Suburban Residential (SR)	

PROCESS:

The request for site plan review is subject to the following process:

1. Submittal by applicant (Section 25.20 A-C)
2. Completeness review by Zoning Administrator (25.20 D)
3. If complete, administrative review by Zoning Administrator
4. Review and decision by the Planning Commission (Section 25.50)

STANDARDS OF REVIEW:

The request for site plan review is subject to review against standards outlined in Section 26.40 of the Zoning Ordinance – “Site Plan Standards of Approval”. The Planning Commission shall review all details of the application and submittal to ensure satisfaction with the requirements outlined in Section 26.40.

A. ZONING COMPLIANCE AND COMPATIBILITY: Site plan proposals shall conform to all zoning district requirements (Chapters 4 to 13, as applicable), land use regulation (Chapter 15), building requirements (Chapter 16), general requirements (Chapter 17), and any applicable specific use requirements (Chapter 18). If necessary, variances shall be secured prior to the Planning Commission's approval (Chapter 30). Site

planning shall consider both zoning compliance and compatibility with adjacent properties and land uses. All uses, structures, and buildings will fully comply with this Ordinance and all other applicable Township ordinances.

Meets Standard. All site development plans, streets, and utilities are subject to site plan review under Section 26.20.A. and shall conform to all zoning district requirements (in this case Chapter 5, Suburban Residential), Land Use Regulation (Chapter 15), Building Requirements (Chapter 16), General Requirements (Chapter 17), and any applicable Specific Use Requirements (Chapter 18), unless specific modifications are approved by the Planning Commission.

REQUIREMENT	COMPLIANCE	COMMENT
SR REQUIREMENTS – CH 5		
Max. Building Height – 35’	Yes	
Front Setback – 50’	Yes	121’ proposed
Side Setback – 25’	Yes	52’ proposed
Rear Setback – 25’	Yes	35’ proposed

Section 18.20.B states that accessory buildings for non-residential uses in residential zoning districts are subject to the same dimensional requirements for principal buildings.

REQUIREMENT	COMPLIANCE	COMMENT
ACCESSORY BUILDING REQUIREMENTS – CH 5		
Max. Building Height – 35’	Yes	
Front Setback – 50’	Yes	171.8’ proposed
Side Setback – 25’	Yes	52’ proposed
Rear Setback – 25’	Yes	35’ proposed

B. LIGHTING: Lighting plans shall demonstrate compliance with all requirements and shall be designed to ensure safe conditions and minimal impact on neighboring properties and the night sky (Chapter 19).

Meets Standard, Condition Recommended. The applicant has submitted a photometric plan that indicates the addition of 10 wall pack fixtures; the applicant has not specified what height they will be mounted at. Included in the photometric plan are two cutsheets for new fixtures; these cutsheets indicate that a color temperature of 4,000K will be used. Staff recommends a condition in which fixture temperatures are set to not exceed 2,700K to achieve compliance with Section 19.40.B of the Zoning Ordinance, in addition to a

condition which requires mounting heights to be consistent with the requirements of Section 19.40.D. The applicant has noted that no modifications to lighting poles are being proposed at this time.

REQUIREMENT	COMPLIANCE	COMMENT
LIGHTING – CH 19		
Max. Color Temperature (19.40.B)	No	Fixtures noted to exceed 2,700K
Fixture Type (19.40.C)	Yes	All fully cut off and down-lit
Mounting Height (19.40.D)	No	15' maximum, applicant has not noted mounting heights for wall packs
Illumination Levels (19.50)	Yes	

C. PARKING AND LOADING: Parking lot design shall demonstrate compliance with all dimensional and circulation requirements and shall be arranged to provide safe and convenient access to buildings and land uses (Chapter 20). If applicable, stacking and loading spaces shall be designed to minimize the impact on internal circulation routes and off-site traffic patterns.

Meets Standard, Condition Recommended. As per Section 20.20 of the GCTZO, increases in intensity or floor area may require additional off-street parking to be provided. The provided site plan indicates that the applicant does not intend to modify parking at this time besides the addition of one ADA-compliant space in the West parking lot; currently there are 100 parking spaces in the existing west parking lot, and 122 spaces and 6 ADA-compliant spaces in the east parking lot. As per Section 20.50.D of the Zoning Ordinance, the classroom portion of the expansion (Phase 6) is required to include 120 spaces, with five being ADA-compliant and one being van accessible; the gymnasium portion (Phase 5) is required to provide 205 spaces with seven being ADA-compliant and two being van accessible. As per Section 20.60.A, the Planning Commission does have the authority to reduce the required parking minimums, so long as the applicant is able to clarify how many employees park on site and why the proposed number of spaces suits their needs; staff recommends the Planning Commission determine whether the provided parking will be sufficient based on information provided by the applicant and the needs of DCS.

D. MOBILITY, TRAFFIC, AND ACCESS: Pedestrian and bicycle travel shall be accommodated in accordance with this Ordinance (Section 21.20). Acceptable traffic conditions shall be maintained (Section 21.30). Driveway placement, connectivity, and shared access shall be designed to promote safe and efficient access to and from the site and circulation within the site. Compliance with access management requirements shall be demonstrated (Section 21.40). All sites and buildings shall be accessible to emergency service vehicles and personnel to respond to emergencies and calls for service. Streets and driveways shall conform to the requirements of Chapter 22.

Meets Standard. Staff anticipates that there would be minimal impact on traffic and mobility in the immediate area should the application be approved. Sidewalks line both street frontages for this parcel and connect to the school facilities, providing adequate pedestrian facilities. The Gaines Charter Township Fire Department (GCTFD) has reviewed and approved the proposed plans, which are consistent with the requirements for access that were established during original site plan approval, issued on December 14th of 2023.

E. LANDSCAPING, SCREENING, AND ENVIRONMENTAL PROTECTION: All applicable landscaping, buffering, screening, and environmental requirements shall be satisfied (Chapter 23), and sites shall not be significantly disturbed in ways beyond what is appropriate for the reasonable development of a site. Site plans shall demonstrate that the impact of exterior uses and activities is minimized by required landscaping and screening.

Meets Standard. In December of 2023, Dutton Christian School received approval from the Planning Commission for a site plan amendment in which 12,400 square-feet was added to the existing school. A full landscaping plan was required as part of the submittal and approval process for the requested site plan amendment. The expansion currently being proposed was detailed in the 2023 submittal, and landscaping requirements have been accounted for and satisfied through the landscaping plan dated 4/4/2024.

F. STORMWATER AND WATER QUALITY: Stormwater detention, retention, and drainage systems shall be designed to protect neighboring properties from the negative impacts of increased stormwater run-off and flooding. Systems shall be designed to function with public stormwater drainage systems under the authority of the Kent County Drain Commission, Kent County Road Commission, or the Michigan Department of Transportation (MDOT).

Meets Standard. The applicant has specified that storm water will be collected in several catch basins and pipes which will be routed to an existing detention basin, which

discharges into a stream within the Plaster Creek watershed. All stormwater and soil erosion controls are subject to review by the Township Engineer and Kent County Road Commission. Staff notes that the engineer's review, dated 02/06/2025, is subject to change and currently under review based on a resubmitted stormwater plan dated 02/16/2026.

G. SIGNS: Proposed signs shall meet dimensional and location requirements and shall be placed in locations that limit driver distraction and prevent visual clutter (Chapter 24).

Meets Standard. DCS received approval for a special use permit to allow for a 31.7 square-foot electronic messaging center at the 68th Street entrance to the campus. The applicant also notes a 62 square-foot wall sign on the south face of the building, which is compliant with the requirements of Chapter 24. Signage is subject to review and approval by the Township Building Official, and Planning & Zoning Department.

H. WATER AND SEWER: Public water and sewer connections shall be approved by the Byron Gaines Utility Authority (BGUA) in accordance with Section 17.90 B as applicable. The site plan will not overburden BGUA's ability to provide public services while at the same time adequately providing for sewage collection and treatment

Meets Standard. The applicant has noted that water and sewer will be extended from the existing building to serve the new addition; staff does not anticipate that the proposed expansion will be prohibitive to delivering critical utilities to the area.

I. OUTSIDE AGENCIES

Applicants must secure all applicable outside agency approvals, including but not limited to the Kent County Health Department, Kent County Road Commission, Kent County Drain Commission, Fire Department, and State of Michigan regulatory agencies. Securing applicable approvals may also be a condition of approval if not received prior to the Planning Commission review.

STAFF RECOMMENDATION

Staff endorses approval of the request for site plan review, with the following recommendations:

1. The applicant shall install and use light fixtures at heights and color temperatures which are consistent with the requirements of Section 19.40.
2. The Planning Commission must approve the overage/underage of parking spaces.

3. Applicant must obtain all outside agency approvals:
 - a. Kent County Road Commission
 - b. Kent County Drain Commission
 - c. Byron Gaines Utility Authority
 - d. Michigan Department of Environment, Great Lakes, and Energy
 - e. Township Building Official
 - f. Township Engineer



E:\Pre-Construction Projects\Dutton Christian School\Middle School - North\3dgm Music Classroom Addition\Design\Internal Civil Drawings\CAD\3D-038 416 DCS 6gm - SHEETS.dwg
ENPre-Construction Projects\Dutton Christian School\Middle School - North\3dgm Music Classroom Addition\Design\Internal Civil Drawings\CAD\3D-038 416 DCS 6gm - SHEETS.dwg



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GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
2. THE OWNER WILL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH PERMIT AS THEY APPLY TO THE WORK PRIOR TO BIDDING AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION. COPIES OF ALL OBTAINED PERMITS ARE AVAILABLE FOR REVIEW FROM THE OWNER.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY RIGHTS OF WAY AND EASEMENTS. THE CONTRACTOR SHALL VERIFY THAT THE NECESSARY EASEMENTS HAVE BEEN SECURED BY THE OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH EASEMENT AS THEY APPLY TO THE WORK PRIOR TO BIDDING AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION. COPIES OF ANY SUCH RIGHTS OF WAY AND EASEMENTS ARE AVAILABLE FOR REVIEW FROM THE OWNER.
4. THE CONTRACTOR SHALL ABIDE BY ANY AND ALL STATE AND FEDERAL RULES AS THEY PERTAIN TO THE PLACEMENT OF FILL WITHIN AND ADJACENT TO WETLAND AREAS.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES AS NECESSARY AND IN A MANNER CONSISTENT WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND MDOT STANDARD PLANS AND RULES.
6. BELOW GRADE UTILITY INFORMATION IS BASED ON RECORD DRAWINGS, LOCATION OF PUBLIC UTILITIES SHOWN IS ONLY APPROXIMATE AND MAY NOT BE COMPLETE. PRIVATE UNDERGROUND UTILITIES SUCH AS, BUT NOT LIMITED TO, SEWER LINES, WATER LINES AND BURIED ELECTRICAL SERVICE ENTRANCES ARE NOT SHOWN.
7. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION AND SIZE OF EXISTING UTILITIES IN THE FIELD WITH THE RESPECTIVE UTILITY COMPANY REPRESENTATIVE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL CALL 811 AT LEAST 3 FULL WORKING DAYS BEFORE DIGGING. ADDITIONAL TEST PITS, BEYOND THOSE SHOWN MAY BE REQUIRED. UTILITY CONTACTS ARE AS FOLLOWS: ELECTRIC - CONSUMERS ENERGY; WATER - GAINES TOWNSHIP WATER DEPT.; GAS - DTE ENERGY.
8. ADJUSTMENTS OF ALL UTILITY STRUCTURES WILL BE PERFORMED BY THE APPROPRIATE UTILITY OR ITS AUTHORIZED REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY RELOCATION AND INSTALLATION WITH THE APPROPRIATE UTILITY.
9. ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE TO REMAIN IN SERVICE UNLESS OTHERWISE NOTED. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL REPAIR OR COORDINATE WITH THE RESPECTIVE UTILITY ON DAMAGE TO EXISTING UTILITIES.
10. IN THOSE INSTANCES WHERE POWER OR TELEPHONE POLE SUPPORT IS REQUIRED, THE CONTRACTOR SHALL PROVIDE A MINIMUM 48 HOUR NOTIFICATION TO POWER COMPANY. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR TEMPORARY BRACING OF UTILITIES.
11. EXISTING SIGNS IMPACTED BY THIS PROJECT SHALL BE RESET AT NO ADDITIONAL COST TO THE OWNER. PLACEMENT SHALL CONFORM TO THE REQUIREMENTS OF MDOT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF EROSION. ALL DISTURBED EARTH SURFACES ARE TO BE STABILIZED IN THE SHORTEST PRACTICAL TIME AND TEMPORARY EROSION CONTROL DEVICES SHALL BE EMPLOYED UNTIL SUCH TIME AS ADEQUATE SOIL STABILIZATION HAS BEEN ACHIEVED. TEMPORARY STORAGE OF EXCAVATED MATERIAL IS TO BE IN A MANNER THAT WILL MINIMIZE EROSION. MATERIALS AND METHODS USED FOR TEMPORARY EROSION CONTROL SHALL BE AS SPECIFIED ON THE CONSTRUCTION PLANS. BEST MANAGEMENT PRACTICES SHALL BE USED TO ADDRESS ANY OBSERVED EROSION OR SEDIMENTATION PROBLEMS.
13. CONTRACTOR SHALL MINIMIZE CLEARING OPERATIONS. ALL TREES, GRUBBING AND STUMP MATERIALS ARE THE PROPERTY OF THE CONTRACTOR AND WILL BE DISPOSED OF AT A SITE PROVIDED BY CONTRACTOR IN COMPLIANCE WITH ALL STATE AND LOCAL LAWS.
14. ALL DISTURBED AREAS ARE TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED AND STRAW MULCH. CONTRACTOR SHALL OBTAIN ENGINEER'S APPROVAL OF ANY OFF-SITE TOPSOIL SOURCE. ANY FERTILIZER OR LIME APPLICATION IS NOT TO BE DONE WITHOUT OWNER APPROVAL.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION MATERIAL, UNSUITABLE MATERIAL, EXCESS MATERIAL, AND COLLECTED SEDIMENT IN ACCORDANCE WITH ALL STATE LAWS AND LOCAL LAWS.
16. CONTRACTOR SHALL CONTROL DUST ON THE CONSTRUCTION SITE TO AN ACCEPTABLE LIMIT, AS DETERMINED BY THE ENGINEER.
17. CONTRACTOR SHALL NOT TRACK OR SPILL EARTH, DEBRIS OR OTHER CONSTRUCTION MATERIAL ON PUBLIC OR PRIVATE STREETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE ASSOCIATED CLEAN UP.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS AND EXCESS EXCAVATED MATERIAL FROM WITHIN THE CONSTRUCTION LIMIT OF WORK, TO A SUITABLE SITE PROVIDED BY THE CONTRACTOR, IN COMPLIANCE WITH ALL STATE AND LOCAL REGULATIONS.
19. CONTRACTOR SHALL REMOVE AND REPLACE OR REPAIR, ALL OTHER ITEMS DAMAGED BY HIS CONSTRUCTION ACTIVITIES TO AT LEAST THEIR ORIGINAL CONDITION, TO THE SATISFACTION OF THE OWNER AND ENGINEER.
20. SUITABLE EXCAVATED MATERIALS MAY BE INCORPORATED INTO THE PROJECT. THE OWNER HAS THE RIGHT OF FIRST REFUSAL OF ALL EXCESS SUITABLE MATERIAL FROM THE PROJECT. THIS PROVISION SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO REMOVE AND DISPOSE OF ANY MATERIAL DETERMINED BY THE ENGINEER TO BE UNSUITABLE FOR BACKFILLING OR EXCESS SUITABLE MATERIAL UNWANTED BY THE OWNER.
21. REFER TO DETAILS FOR PIPE AND STRUCTURE BEDDING AND BACKFILL REQUIREMENTS.
22. ALL STRUCTURES AND PIPELINES LOCATED ADJACENT TO ANY TRENCH EXCAVATION SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR UNTIL THE TRENCH IS BACKFILLED. DAMAGE TO ANY SUCH STRUCTURES CAUSED BY OR RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

EROSION AND SEDIMENTATION CONTROL NOTES

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION.

THE PROPOSED LOCATIONS OF SILTATION AND EROSION CONTROL STRUCTURES AND MEASURES ARE SHOWN ON THE PLANS.

1. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH PART 91 OF PUBLIC ACT 451 AND SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN EBLE NPS BMP MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE MAINTAINED IN AN UNVEGETATED OR UNVEGETATED CONDITION FOR THE MINIMUM TIME REQUIRED. IN GENERAL, AREAS TO BE VEGETATED SHALL BE TEMPORARILY STABILIZED WITHIN 90 DAYS OF INITIAL DISTURBANCE OF THE SOIL AND PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING.
3. SEDIMENT BARRIERS (SILT FENCE, STONE, CHECK DAMS, SEDIMENT TUBES, ETC.) AND ALL OTHER SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY REESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
4. INSTALL SILT FENCE AT TOE OF SLOPES AND DOWNSTREAM EDGES OF THE GRADING LIMITS TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
5. ALL SOIL EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT. A INSPECTION LOG SHALL BE MAINTAINED WITH REPORTS. SECC MEASURES SHALL BE REPAIRED AND/OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTL AREAS UPSLOPE ARE PERMANENTLY STABILIZED.
6. ALL DISTURBED BANKS, EITHER PERMANENT OR TEMPORARY, EQUAL TO OR GREATER THAN 3:1 MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREENS-1501 (OR APPROVED EQUAL) EROSION CONTROL BLANKET (SHADED AREAS). THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER THE MANUFACTURERS RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
7. IF FINAL SEEDING AND SODDING IS NOT EXPECTED PRIOR TO THE ANTICIPATED DATE OF THE FIRST KILLING FROST, USE TEMPORARY ANNUAL RYEGRASS SEEDING AND MULCHING ON ROUGH GRADED SUBSOIL TO PROTECT THE SITE AND DELAY PERMANENT TOPSOILING, FINE GRADING, AND SEEDING OR SODDING UNTIL SPRING.
8. WHEN FEASIBLE, TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINISH GRADED SHALL BE COMPLETED 30 DAYS PRIOR TO THE FIRST KILLING FROST.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS. POST SEEDING SEDIMENT, IF ANY, WILL BE DISPOSED OF IN AN ACCEPTABLE MANNER.
10. ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
11. EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
12. NO SEDIMENT SHALL BE TRACKED ONTO 68TH STREET AND IF IT DOES OCCUR, IT SHALL BE CLEANED IMMEDIATELY. INTERNAL ROADWAYS AND ACCESS DRIVES SHALL BE SWEEPED OF SEDIMENT ON A DAILY BASIS. AN ANTI-TRACKING PAD SHALL BE INSTALLED TO MINIMIZE VEHICLE SEDIMENT LEAVING THE SITE.
13. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND REVEGETATED. ALL UPLAND DISTURBED AREAS ARE TO BE RESTORED WITH A MINIMUM 3" TOPSOIL AND HYDROSEED. ALL WETLAND AREAS SHALL BE RESTORED WITH NATIVE TOPSOIL, SALVAGED FROM THE WETLAND AND SEEDED WITH AN APPROPRIATE WETLAND PLANT SEED MIXTURE.
14. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
15. TOTAL VOLUME OF FILL AND EXCAVATION IS APPROXIMATELY 1,600 C.Y. (FILL).
16. ANTICIPATED SOIL TYPES THAT WILL BE ENCOUNTERED: LOAMY SAND



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FACILITY SERVICES

NEW ADDITION FOR:

DUTTON CHRISTIAN SCHOOL

CALEDONIA, KENT COUNTY, MICHIGAN 49316

ISSUED FOR:
SITE PLAN REVIEW 01-20-26

DRAWN: AGD

PROJECT #: 30-038416

SHEET INDEX

- 1 EXISTING CONDITIONS & REMOVALS
- 2 SITE NOTES
- 3 SITE LAYOUT PLAN
- 4 SITE UTILITY PLAN
- 5 SITE GRADING PLAN
- 6 EROSION CONTROL PLAN

PROPERTY OWNER:
DUTTON CHRISTIAN SCHOOL
6724 HANNA LAKE AVENUE SE
CALEDONIA, MI 49316

APPLICANT & PREPARER:
ALEXANDER Q. DEPOY, P.E.
DAN VOS CONSTRUCTION CO.
6160 E FULTON, PO BOX 109
ADA, MI 49301
616-676-9169
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NEW ADDITION FOR:
DUTTON CHRISTIAN SCHOOL
CALEDONIA, KENT COUNTY, MICHIGAN 49316

ISSUED FOR:
SITE PLAN REVIEW 01-20-26
PARKING COUNTS 02-16-26

DRAWN: AGD

PROJECT #: 30-038916

PROPERTY OWNER:
DUTTON CHRISTIAN SCHOOL
6129 HANNA LAKE AVENUE SE
CALEDONIA, MI 49316

APPLICANT & PREPARER:
ALEXANDER Q. DEPOY, P.E.
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C-3

GENERAL NOTES:

- 1. PARCEL INFORMATION**
CURRENT ZONING: SR
SITE ADDRESS: 6129 HANNA LAKE AVENUE
PARCEL NUMBER: 41-22-03-416-031
- 2. BUILDING**
REQUIRED PROVIDED
MAX. BUILDING HEIGHT: 35 FT 35 FT
- 3. SETBACKS**
MIN REQUIRED PROVIDED
FRONT (SOUTH) 50 FT 121 FT
SIDE (WEST) 8 FT 52 FT
REAR (NORTH) 35 FT
- 4. REGULATORY APPROVALS**
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)
 - SITE PLAN
 - FIRE DEPARTMENT
 - STORMWATER MANAGEMENT
 - KENT COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT (ROAD COMMISSION)
- 5. PROJECT DESCRIPTION**
PHASE 5 & 6 BUILDING ADDITION TO AN EXISTING SCHOOL WITH AN AUXILIARY MAINTENANCE BUILDING. PART OF A MASTER PLAN FOR OVERALL DEVELOPMENT OF THE PROPERTY.
- 6. PARKING**
PARKING WILL BE UNMODIFIED WITH THIS ADDITION.
- 7. STORM WATER MANAGEMENT**
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCH BASINS AND PIPES AND ROUTED TO AN EXISTING DETENTION BASIN. THE DETENTION BASIN CURRENTLY DISCHARGES TO THE NORTH TOWARD AN EXISTING STREAM WITHIN THE PLASTER CREEK WATERSHED.
- 8. WATER/SEWER SERVICE**
THE BUILDING ADDITION WILL BE SERVED THROUGH THE EXISTING WATER AND SANITARY SERVICE OF THE EXISTING BUILDING.
- 9. WETLANDS**
THERE ARE NO KNOWN REGULATED WETLANDS WITHIN THE ADDITION AREA.
- 10. FLOODPLAINS**
THERE ARE NO KNOWN REGULATORY FLOODPLAINS WITHIN THE ADDITION AREA.
- 11. SITE LIGHTING**
PROPOSED LIGHTING WILL BE WITH WALL PACK LIGHT FIXTURES SHOWN ON THE PHOTOMETRIC PLAN.

PROPOSED LEGEND

- PROP. STORM CB
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. HYDRANT / VALVE
- PROP. WATER MAIN
- PROP. FLOWLINE
- PROPOSED RIPRAP
- PROP. HMA PAVEMENT
- EX. HMA PAVEMENT
- PROP. BUILDING EXPANSION
- EXISTING BUILDING
- PROP. CONC PAVEMENT
- EX. CONC PAVEMENT
- PROPERTY LINE
- PROP. FENCE
- PARKING COUNT

EXISTING PARKING COUNT

EAST PARKING 122 SPACES, 6 ADA
WEST PARKING 100 SPACES
TOTAL 222 SPACES

PROPOSED PARKING COUNT

EAST PARKING 122 SPACES, 6 ADA
WEST PARKING 99 SPACES, 1 ADA
TOTAL 221 SPACES

REQUIRED PARKING COUNT (CLASS)

CLASSROOMS 30
EMPLOYEES 60
TOTAL = (30 x 2) + (60 x 1) = 120 SPACES
(5 ADA, 1 VAN ACCESSIBLE)

REQUIRED PARKING COUNT (GYM)

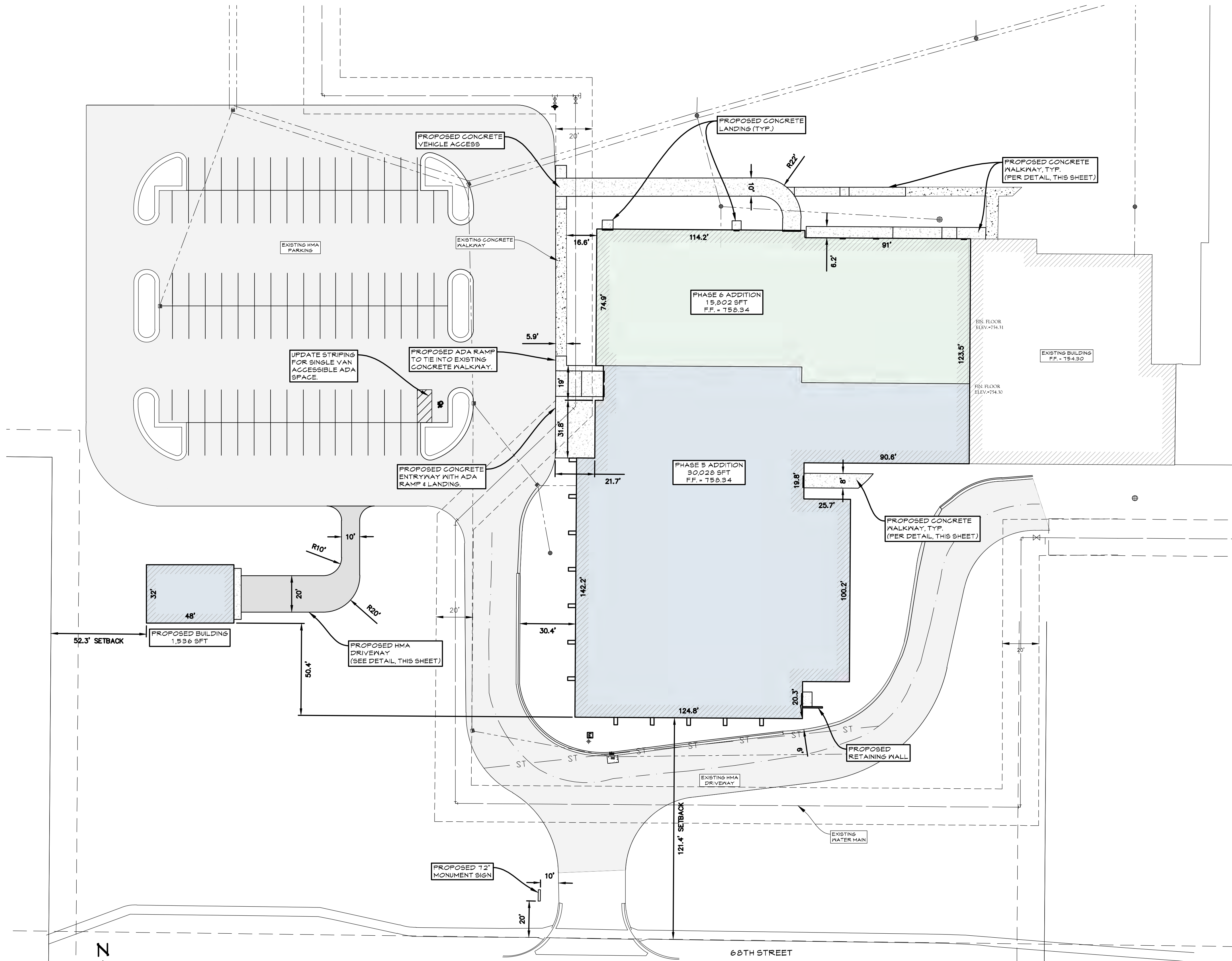
GYM SEATING 820
TOTAL = 820 / 4 = 205 SPACES
(1 ADA, 2 VAN ACCESSIBLE)

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CALEDONIA, MI 49316

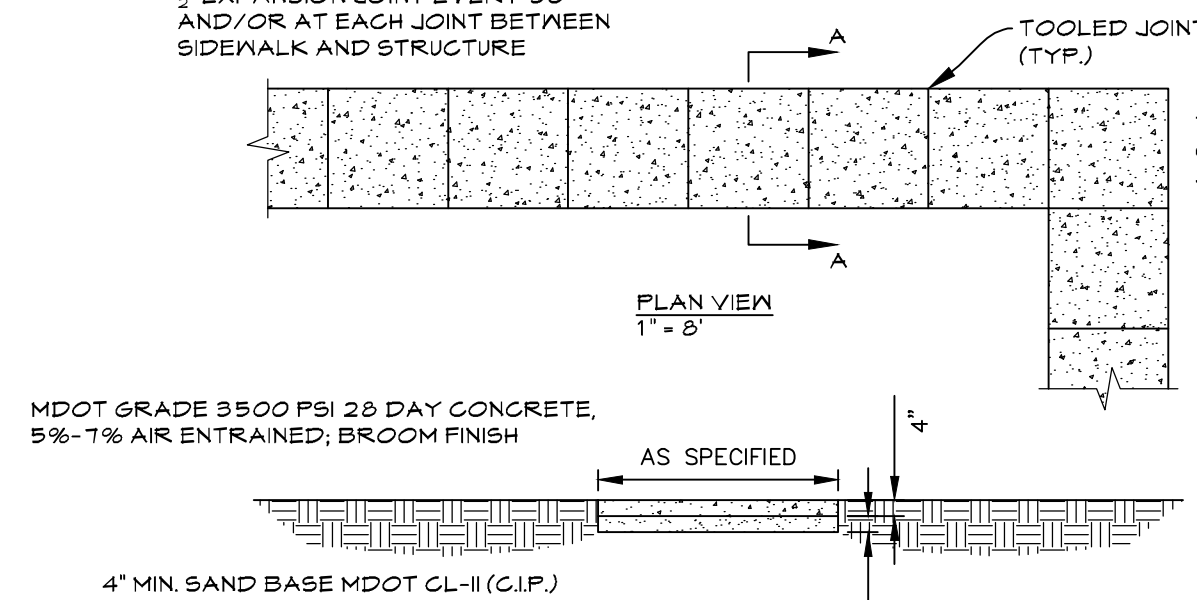
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SITE LAYOUT PLAN

SCALE: 1" = 30'
0 15 30

3" EXPANSION JOINT EVERY 30'
AND/OR AT EACH JOINT BETWEEN
SIDEWALK AND STRUCTURE



PAVEMENT CROSS SECTION

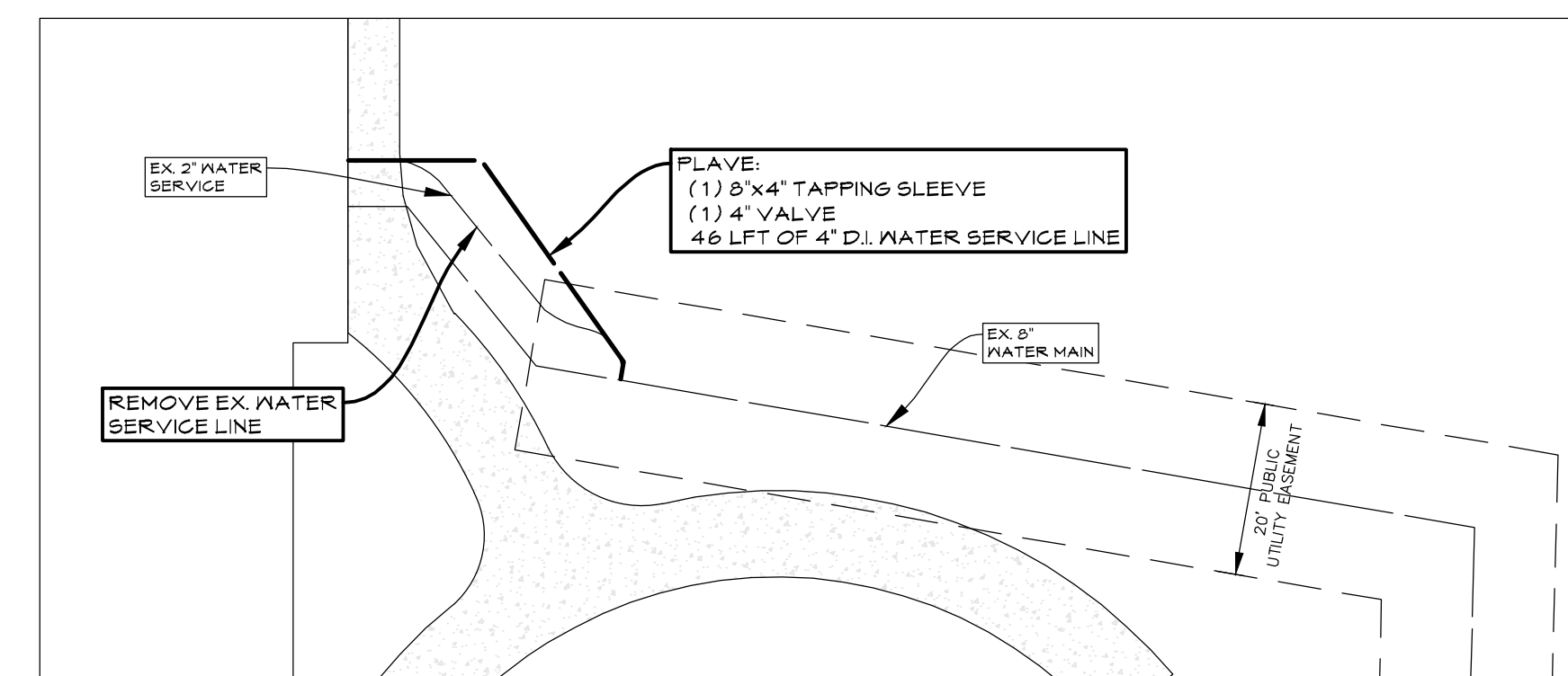
SCALE: 1" = 2'

4" CONCRETE SIDEWALK DETAIL

SCALE: AS NOTED



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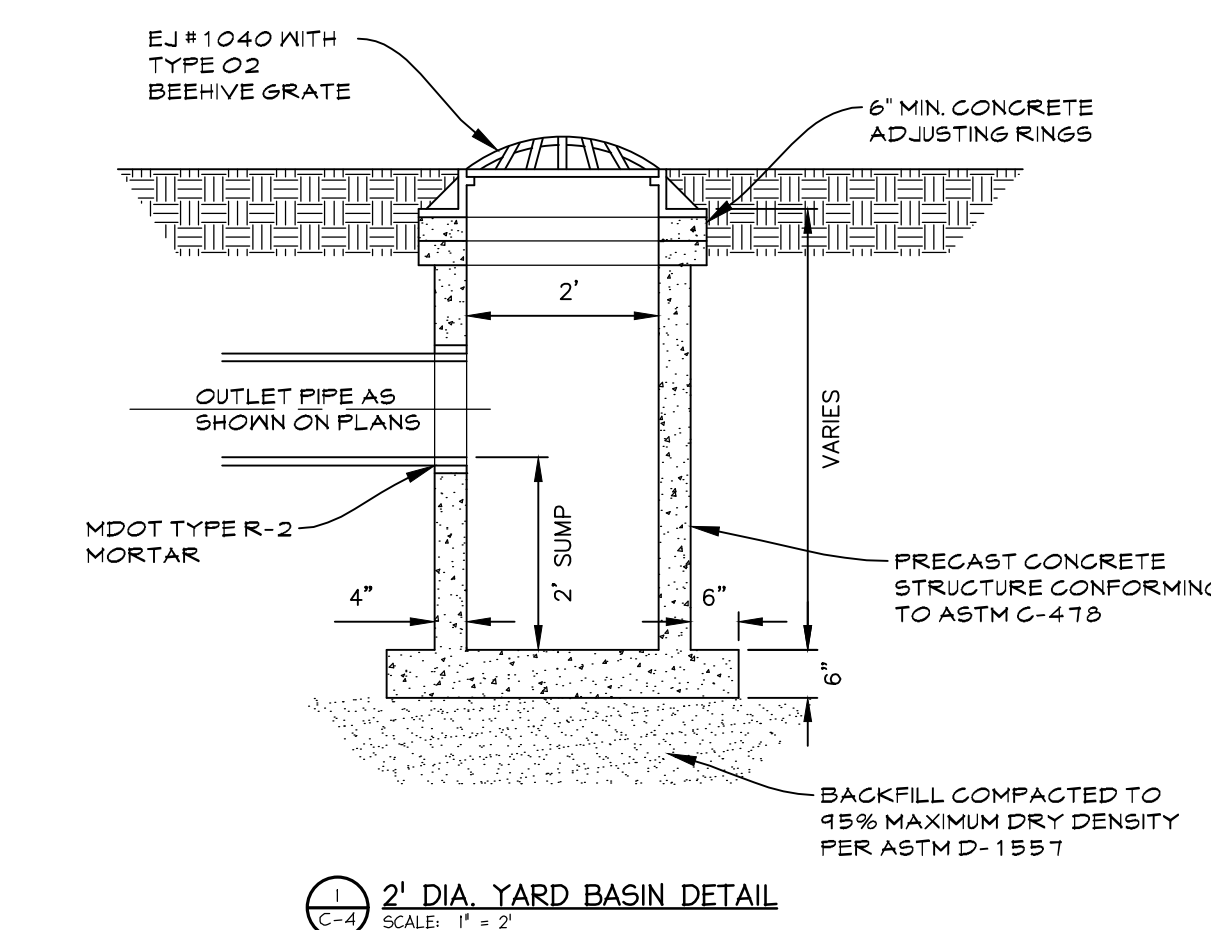


WATER SERVICE IMPROVEMENTS

SCALE: 1" = 20'
0 10 20

PROPOSED LEGEND

- PROP. STORM SEWER
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. HYDRANT / VALVE
- PROP. WATER MAIN
- PROP. FLOWLINE
- PROPOSED RIPRAP
- PROP. HMA PAVEMENT
- EX. HMA PAVEMENT
- PROP. BUILDING EXPANSION
- EXISTING BUILDING
- PROP. CONG PAVEMENT
- EX. CONG PAVEMENT
- PROPERTY LINE
- PROP. FENCE
- PARKING COUNT



UTILITY PLAN GENERAL NOTES

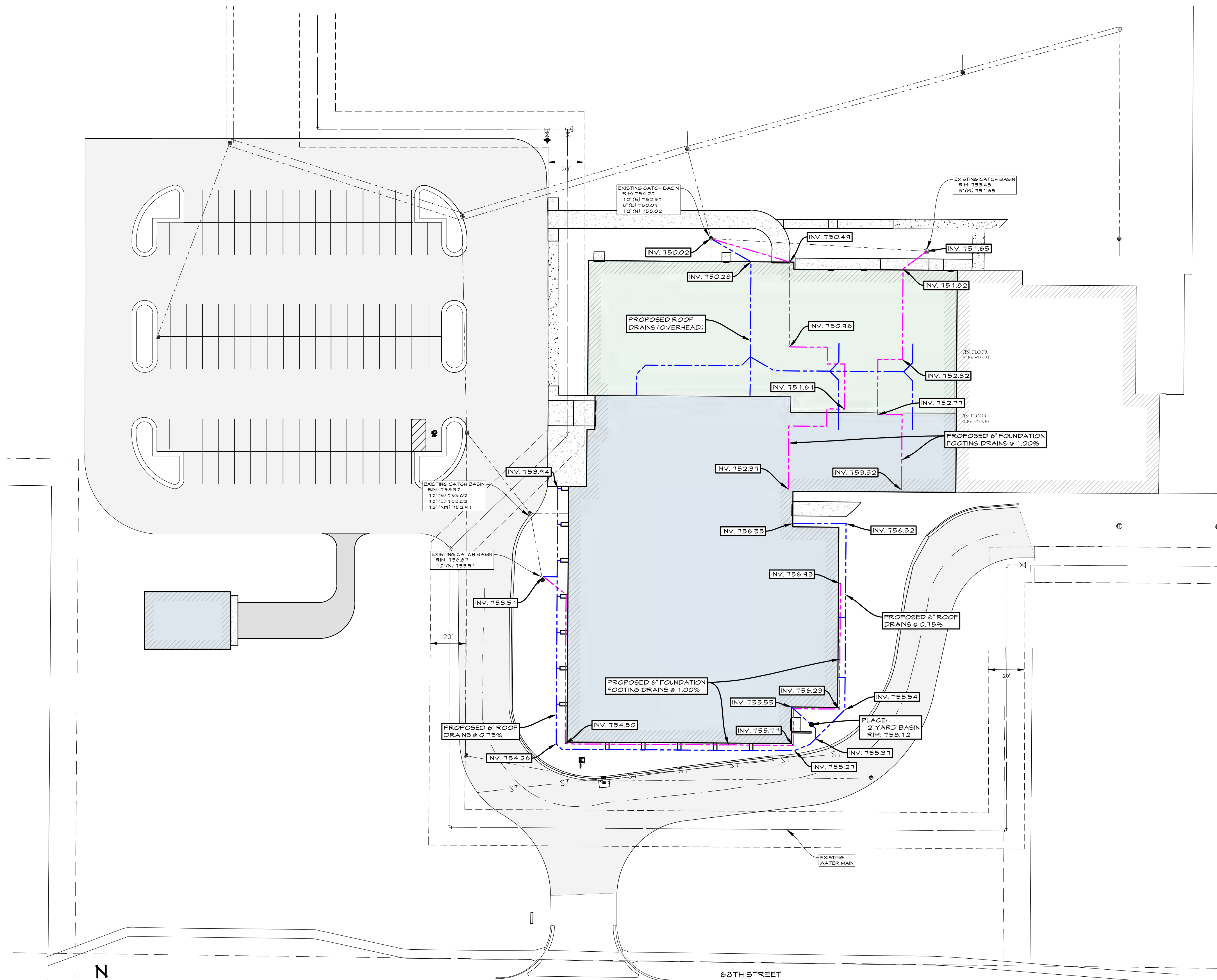
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
- THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- ALL STORM SEWER PIPE SHALL BE ADS N-12 PLASTIC PIPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIAMETER PRECAST CONCRETE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MDOT CL-2 SAND TO A MINIMUM OF 45% MAXIMUM DRY DENSITY PER ASTM D-1557.
- THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER DETENTION BASIN AS SHOWN AND SPECIFIED.

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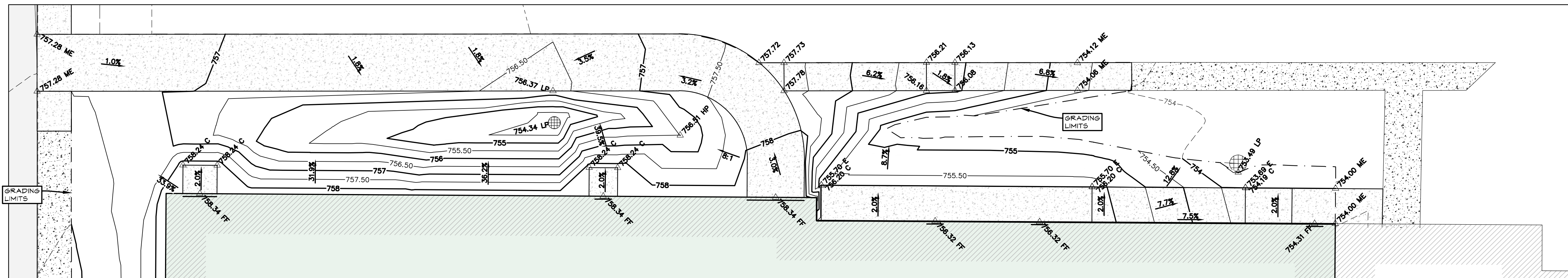


SITE UTILITY PLAN

SCALE: 1" = 30'
0 15 30

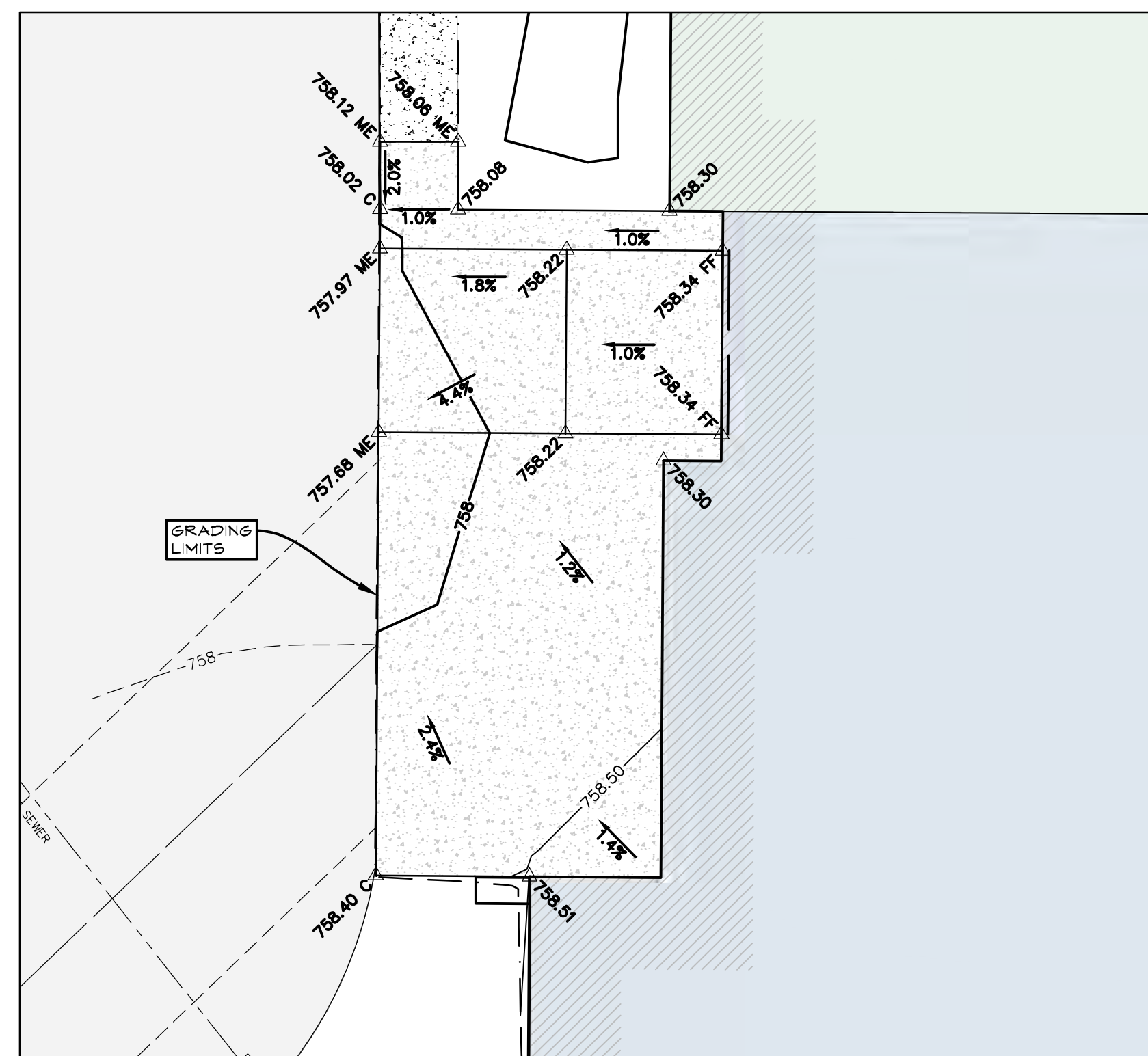


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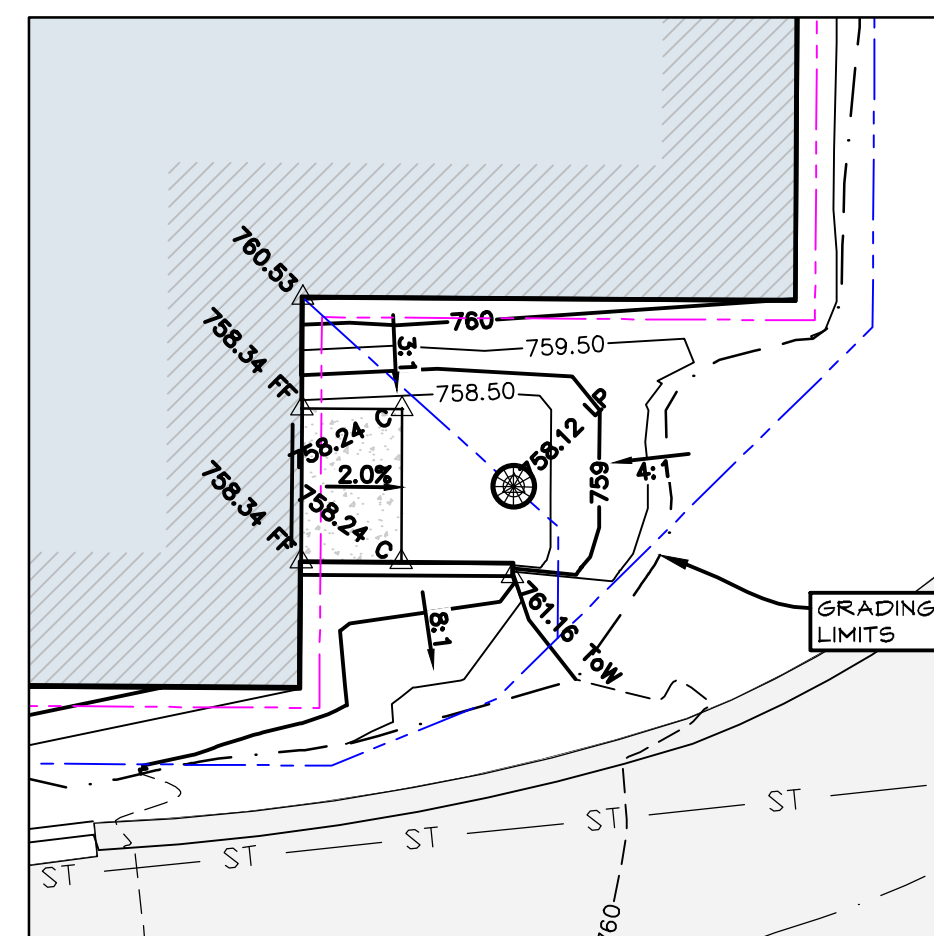
DETAILED GRADING - NORTH

SCALE: 1" = 10'



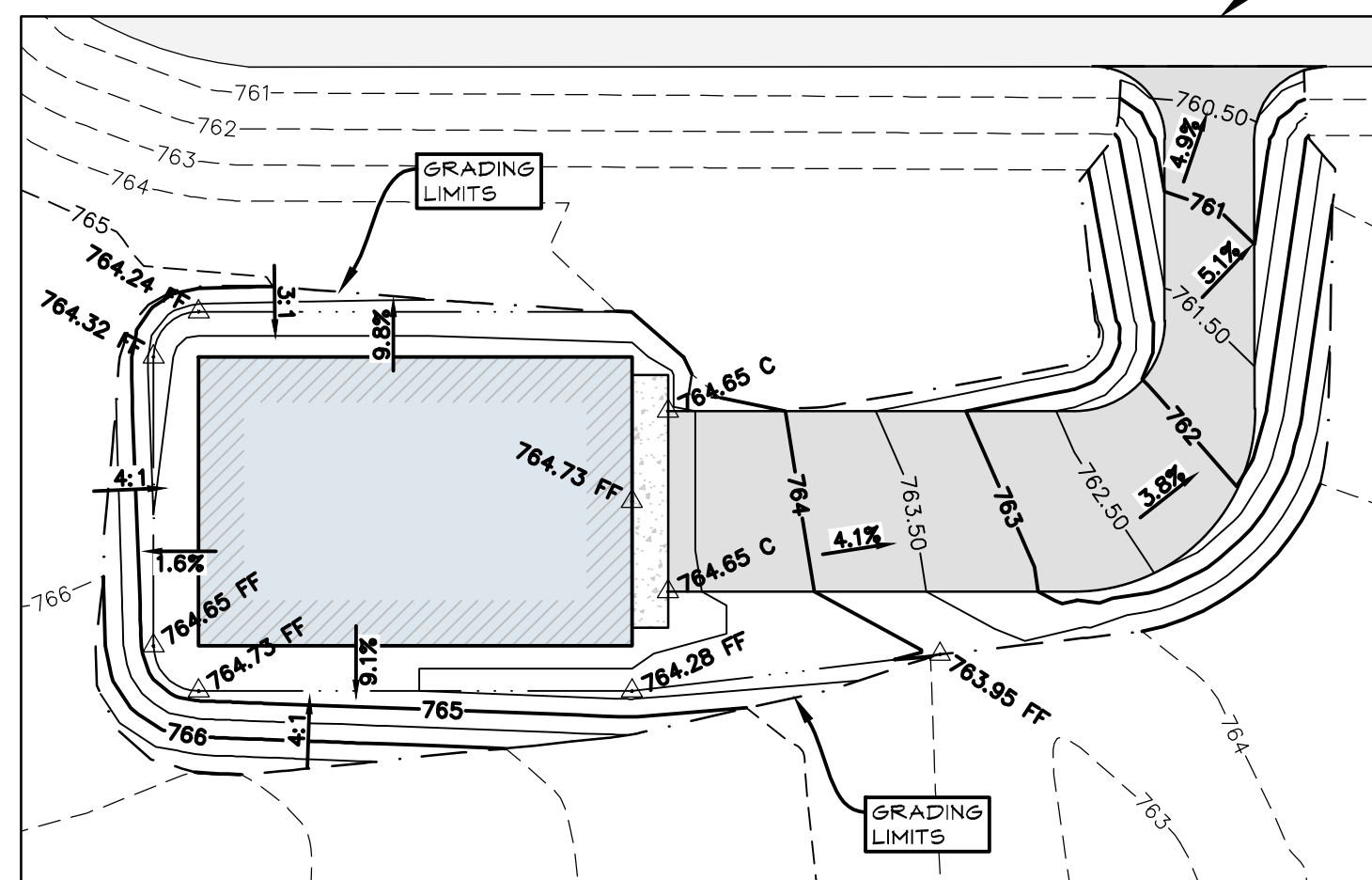
DETAILED GRADING - ENTRYWAY

SCALE: 1" = 10'



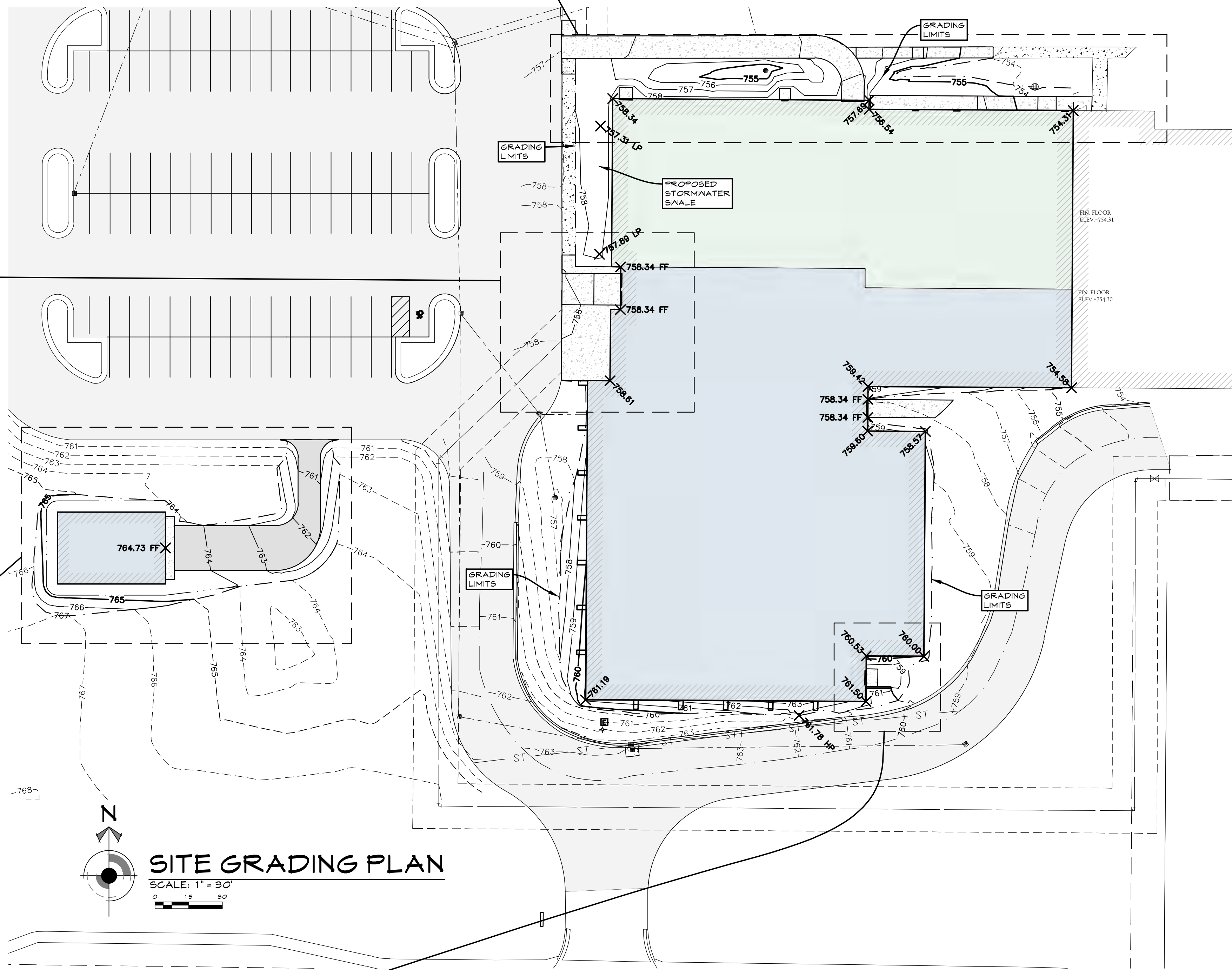
DETAILED GRADING - SE EXIT

SCALE: 1" = 10'



DETAILED GRADING - MAINTENANCE

SCALE: 1" = 20'



SITE GRADING PLAN

SCALE: 1" = 30'

PROPOSED GRADING LEGEND

- PROP. GRADING LIMITS
- X PROP. SILT FENCE
- 722 PROP. MAJOR CONTOUR
- 722 PROP. MINOR CONTOUR
- 722 EX. MAJOR CONTOUR
- 722 EX. MINOR CONTOUR

PROPOSED SPOT GRADE LABELS

- C - CONCRETE
- B - HOT MIX ASPHALT
- EOM - EDGE OF METAL
- BC - BACK OF CURB
- E - EARTH
- FF - FINISHED FLOOR
- HP - HIGH POINT (RELATIVE)
- LP - LOW POINT (RELATIVE)
- ME - MATCH EXISTING
- TOW - TOP OF WALL
- BOW - BOTTOM OF WALL

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EROSION AND SEDIMENTATION CONTROL NOTES

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION.

THE PROPOSED LOCATIONS OF SILTATION AND EROSION CONTROL STRUCTURES AND MEASURES ARE SHOWN ON THE PLANS.

- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH PART 91 OF PUBLIC ACT 451 AND SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN EGLE NPS BMP MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE MAINTAINED IN AN UNTREATED OR UNVEGETATED CONDITION FOR THE MINIMUM TIME REQUIRED. IN GENERAL, AREAS TO BE VEGETATED SHALL BE TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL AND PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING.
- SEDIMENT BARRIERS (SILT, FENCE, STONE, CHECK DAMS, SEDIMENT TUBES, ETC.) AND ALL OTHER SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY REESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
- INSTALL SILT FENCE AT TOE OF SLOPES AND DOWNSTREAM EDGES OF THE GRADING LIMITS TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
- ALL SOIL EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT. A INSPECTION LOG SHALL BE MAINTAINED WITH REPORTS. SESS MEASURES SHALL BE REPAIRED AND/OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED.
- ALL DISTURBED BANKS, EITHER PERMANENT OR TEMPORARY, EQUAL TO OR GREATER THAN 3:1 MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREENS: 150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET (SHADED AREAS). THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR NOOD PEGS, SHALL BE PLACED PER THE MANUFACTURERS RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
- IF FINAL SEEDING AND SODDING IS NOT EXPECTED PRIOR TO THE ANTICIPATED DATE OF THE FIRST KILLING FROST, USE TEMPORARY ANNUAL RYEGRASS SEEDING AND MULCHING ON ROUGH GRADED SUBSOIL TO PROTECT THE SITE AND DELAY PERMANENT TOPSOILING, FINE GRADING, AND SEEDING OR SODDING UNTIL SPRING.
- WHEN FEASIBLE, TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINISH GRADED SHALL BE COMPLETED 30 DAYS PRIOR TO THE FIRST KILLING FROST.
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- TOTAL VOLUME OF FILL AND EXCAVATION IS APPROXIMATELY 1,600 C.Y. (FILL).
- ANTICIPATED SOIL TYPES THAT WILL BE ENCOUNTERED: LOAMY SAND

SOIL EROSION CONTROL LEGEND

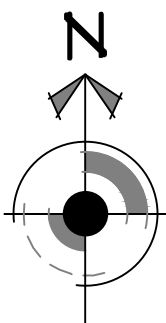
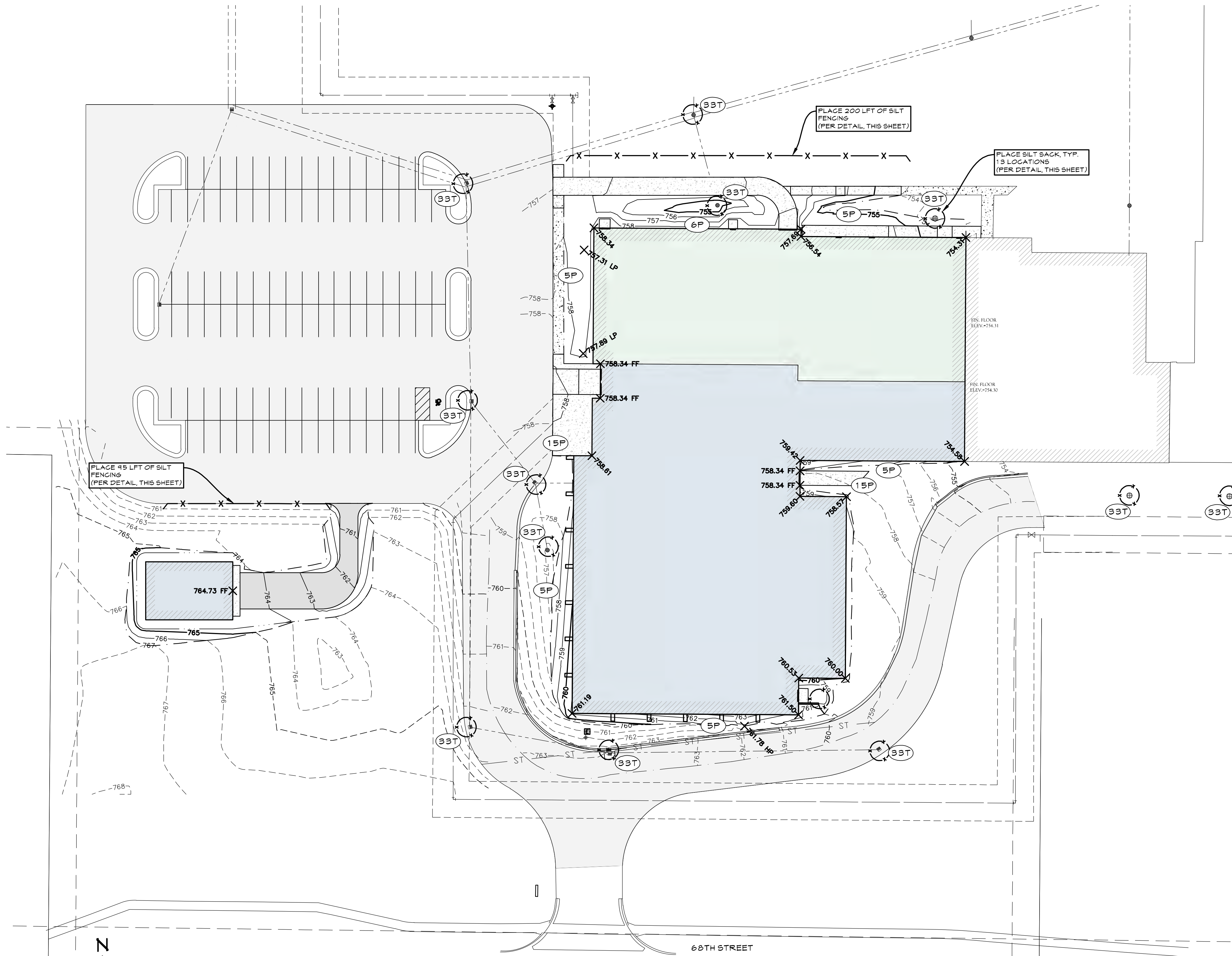
- 5 SEEDING
- 6 SEEDING W/ MULCH
- 13 RIP-RAP
- 15 PAVING
- 16 CURBING
- 33 SEDIMENT TRAP
- 35 STORM SEWER
- 36 CATCH BASIN
- 53 SILT FENCE
- P PERMANENT
- T TEMPORARY
- M MODIFIED

ANTICIPATED PROJECT SCHEDULE

• SITE DEMOLITION	4/1 - 4/3
• INSTALL TEMP. CONTROLS	
-SILT SACKS	4/6 - 9/18
-SILT FENCE	4/6 - 9/18
• STRIP TOPSOIL	4/8 - 4/10
• ROUGH GRADE SITE	4/13 - 4/17
• IMPROVEMENTS	4/20 - 7/31
• FINE GRADE REMAINDER OF SITE	8/3 - 8/7
• INSTALL LANDSCAPING	8/10 - 8/21
• SPREAD TOPSOIL & SEED	8/24 - 8/26
• INSTALL EROSION CONTROL MAT	8/26 - 8/28
• FINAL RESTORE AND CLEANUP	8/31 - 9/11
• REMOVE TEMP. EROSION CONTROLS	9/14 - 9/18

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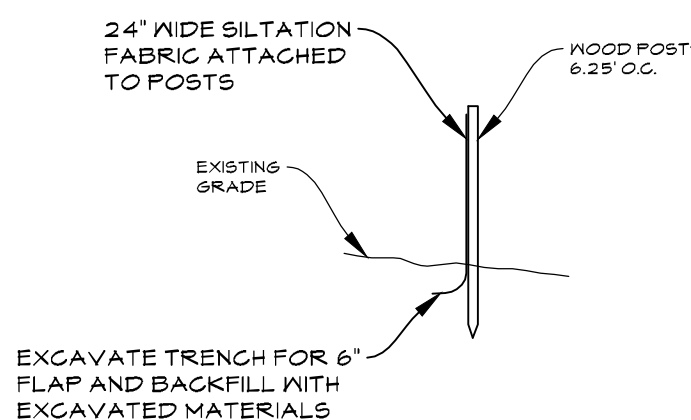


EROSION CONTROL PLAN

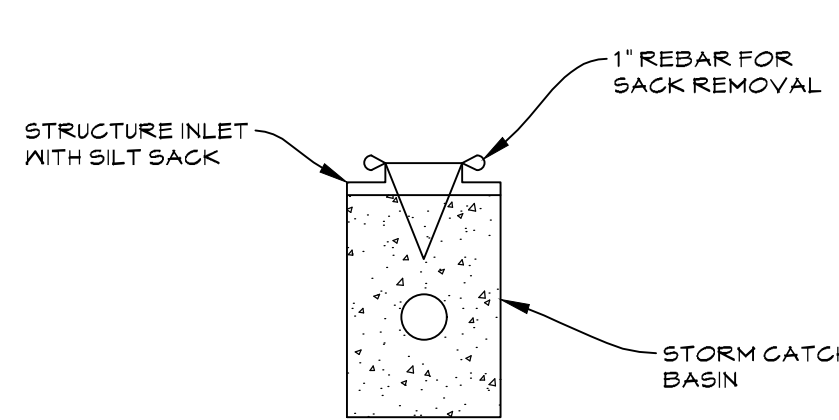
SCALE: 1" = 30'



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1 SILT FENCE DETAIL
SCALE: 1" = 2'



2 SILT SACK DETAIL
SCALE: 1" = 2'

NEW ADDITION FOR:

DUTTON CHRISTIAN SCHOOL

CALEDONIA, KENT COUNTY, MICHIGAN 49316

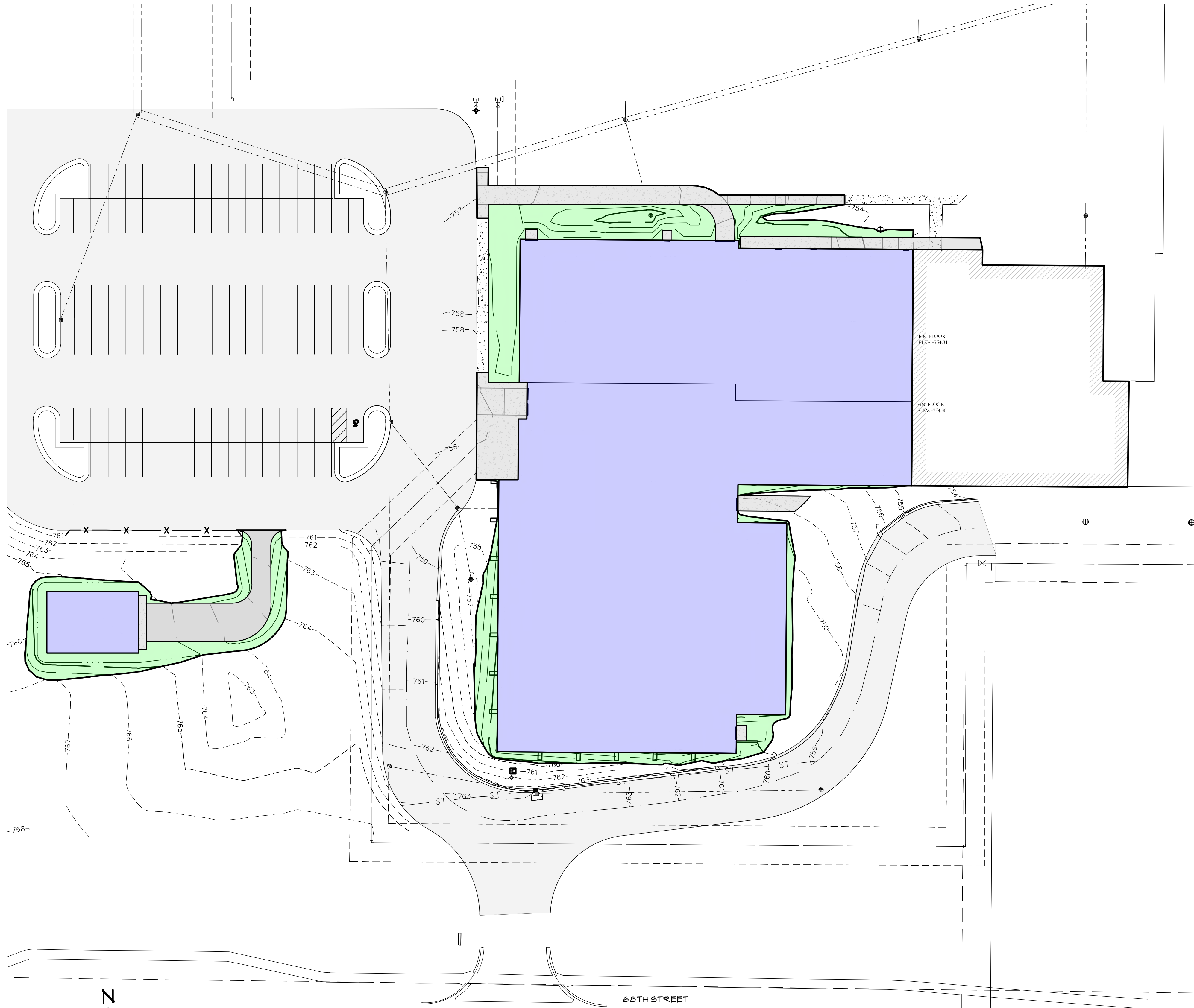
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C-7



PROPOSED SURFACE COVERS	
	BUILDING FOOTPRINT
	PAVEMENT
	PERVIOUS SURFACE

PROP. DISTURBED AREA	
1,536	SFT, MAINTENANCE FOOTPRINT
30,028	SFT, PHASE 5 FOOTPRINT
15,802	SFT, PHASE 6 FOOTPRINT
5,465	PAVEMENT
1.224	ACRES

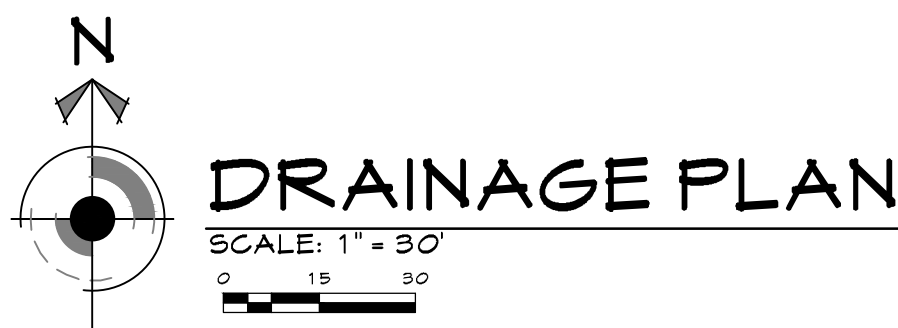
EXISTING AREA	
12,534	SFT, EXISTING BUILDING SEGMENT
0.288	ACRES

TOTAL AREA	
1.512	ACRES

MASTER PLAN AREA	
44,126	SFT, SOUTH BUILDING FOOTPRINT
4,500	PAVEMENT
1.116	ACRES

FUTURE MASTER PLAN AREAS	
46,197	SFT, NORTH BUILDING FOOTPRINT
21,098	PAVEMENT
1.545	ACRES

TOTAL AREA	
2.661	ACRES

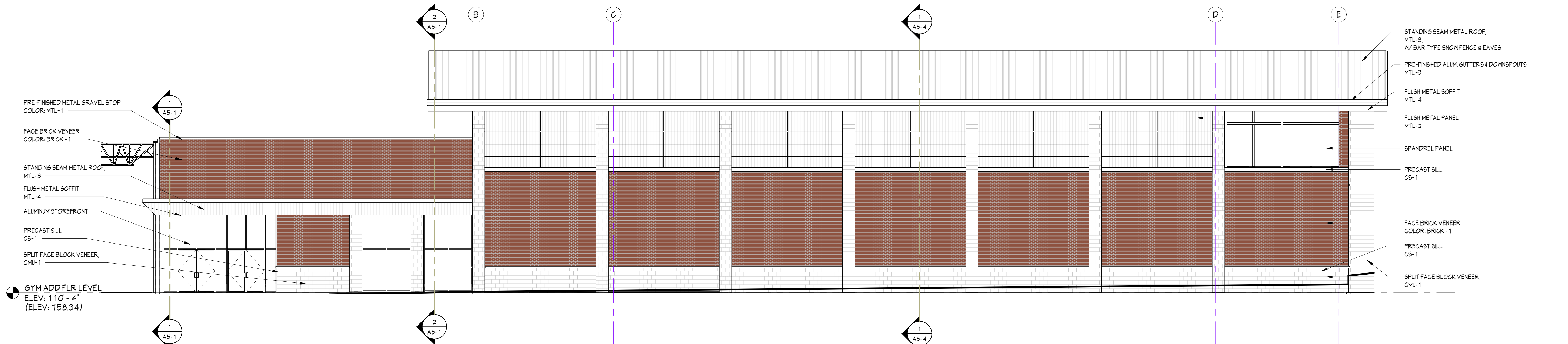


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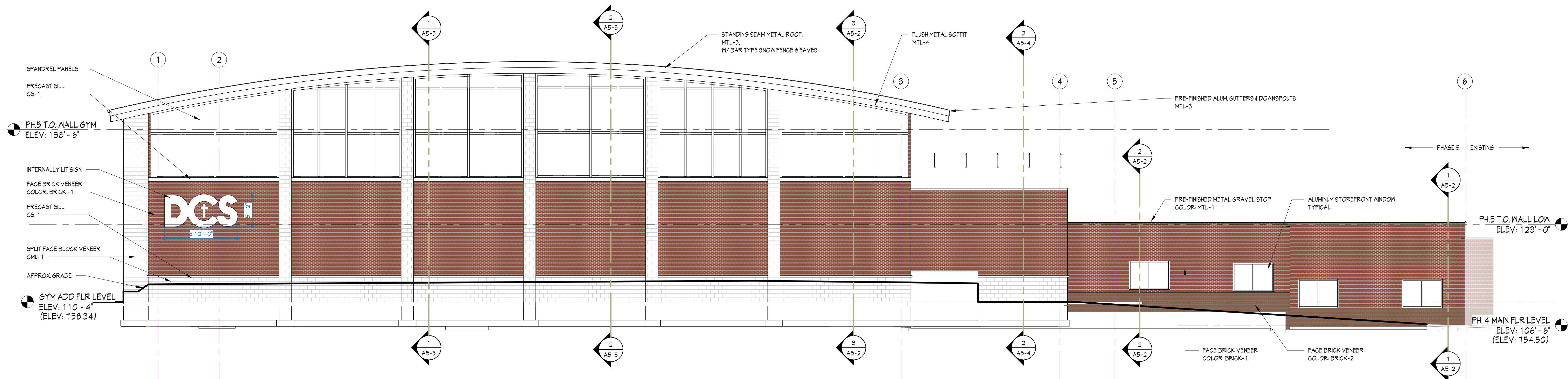
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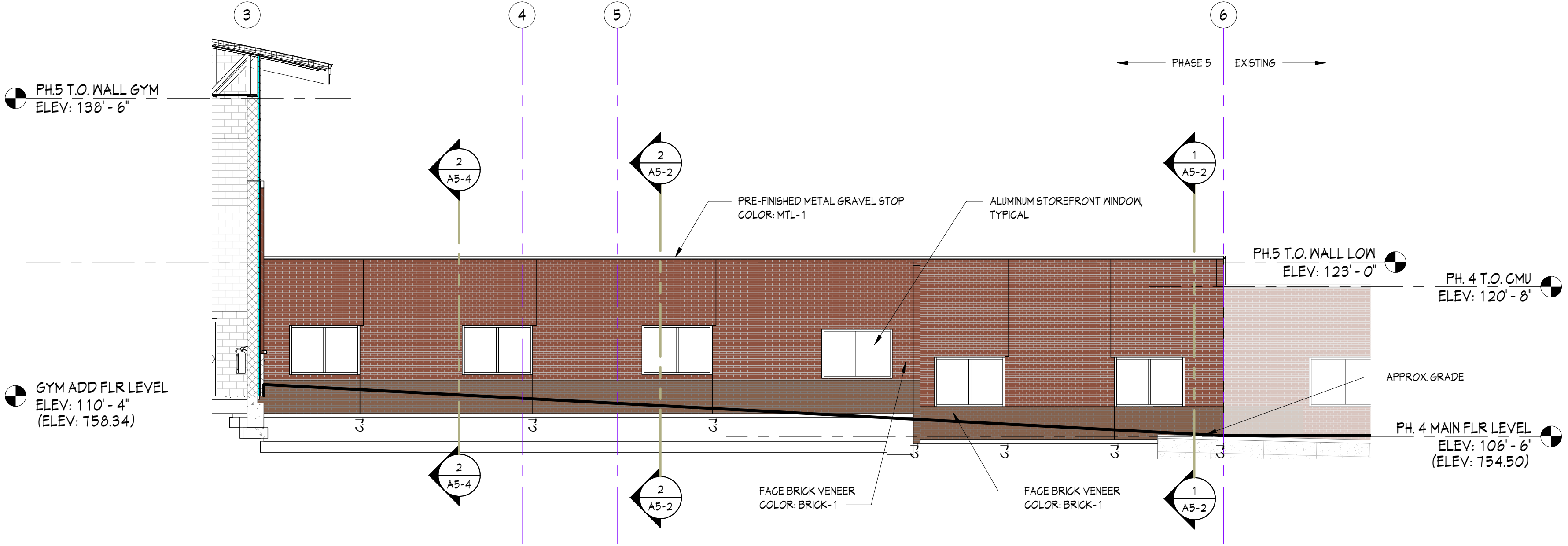
PH 5 - EXTERIOR ELEVATION - WEST - GYM
1/8" = 1'-0"

EXTERIOR FINISH MATERIALS SCHEDULE				
EXTERIOR				
BRICK-1	RED BRICK (UPPER WALL)	REDLAND BRICK	YORKTOWN MODULAR PTH 5/8 JASLOR	-
BRICK-2	BROWN BRICK (BASE OF WALL)	REDLAND BRICK	ESSEX MODULAR	-
CMU-1	CONCRETE MASONRY UNIT (UPPER WALL)	CONSUMERS CONCRETE SMOOTH FACE UNIT	X	-
CMU-2	CONCRETE MASONRY UNIT (BASE OF WALL)	CONSUMERS CONCRETE SMOOTH FACE UNIT	X	-
MTL-1	GRAVEL STOP	FIRESTONE	BONE WHITE	MATCH EXIST.
CS-1	CAST STONE	TERRYS PRECAST	110 LIGHT BUFF	MATCH EXIST.

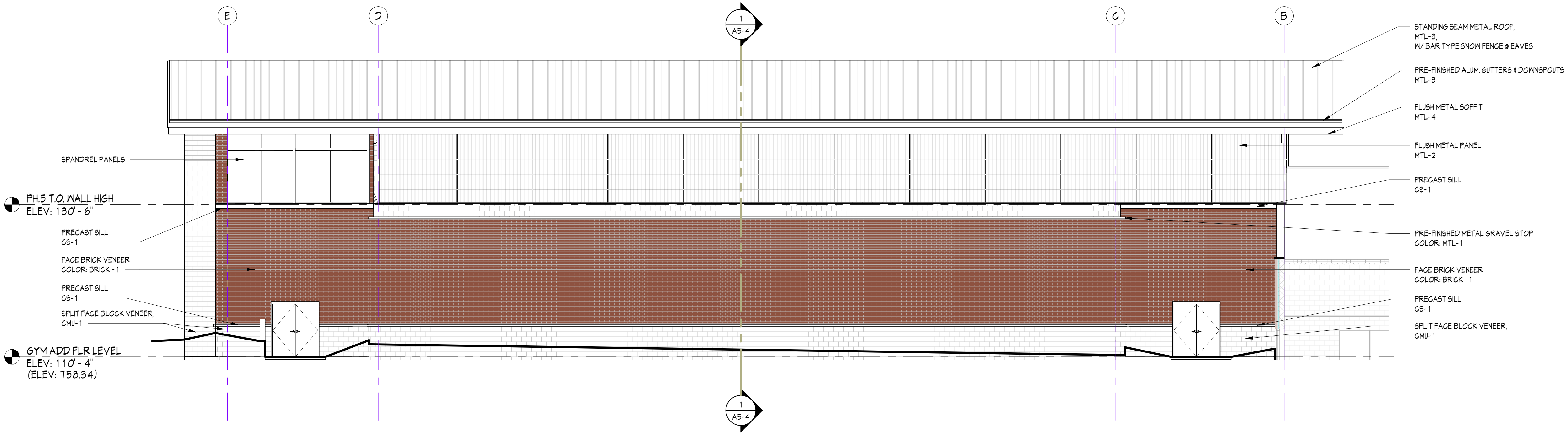


PH 5 - EXTERIOR ELEVATION - SOUTH ELEV - GYM
1/8" = 1'-0"

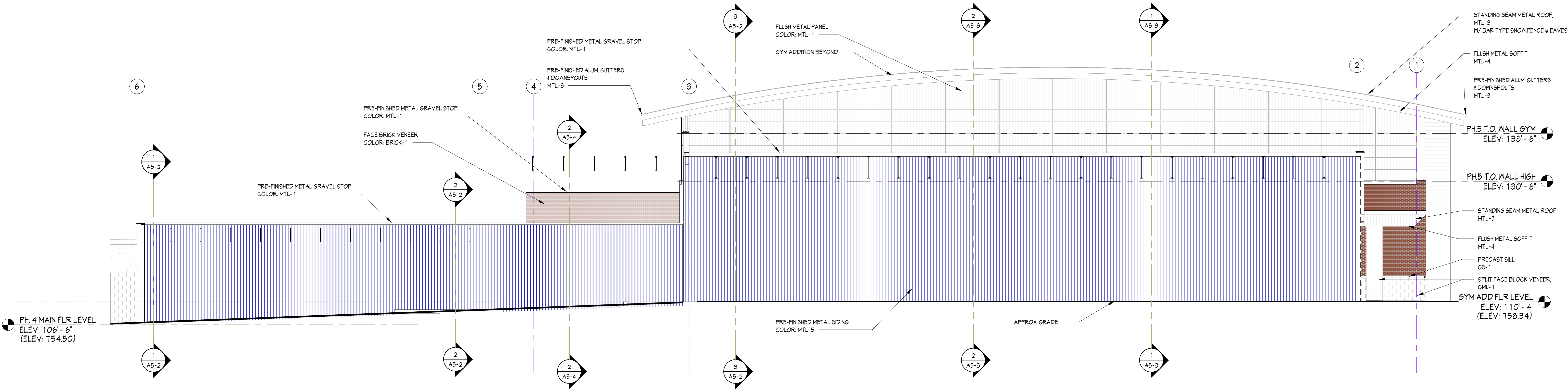
EXTERIOR FINISH MATERIALS SCHEDULE				
EXTERIOR				
BRICK-1	RED BRICK (UPPER WALL)	REDLAND BRICK	YORKTOWN MODULAR PTH 3/4 JABLOK	-
BRICK-2	BROWN BRICK (BASE OF WALL)	REDLAND BRICK	ESSEX MODULAR	-
CMU-1	CONCRETE MASONRY UNIT (UPPER WALL)	CONSUMERS CONCRETE, SMOOTH FACE UNIT	X	-
CMU-2	CONCRETE MASONRY UNIT (BASE OF WALL)	CONSUMERS CONCRETE, SMOOTH FACE UNIT	X	-
MTL-1	GRAVEL STOP	FIRESTONE	BONE WHITE	MATCH EXST.
CS-1	CAST STONE	TERRY'S PRECAST	110 LIGHT BUFF	MATCH EXST.



1 PH 5 - EXTERIOR ELEVATION - SOUTH ELEV - CLASSROOMS
A4-2 1/8" = 1'-0"



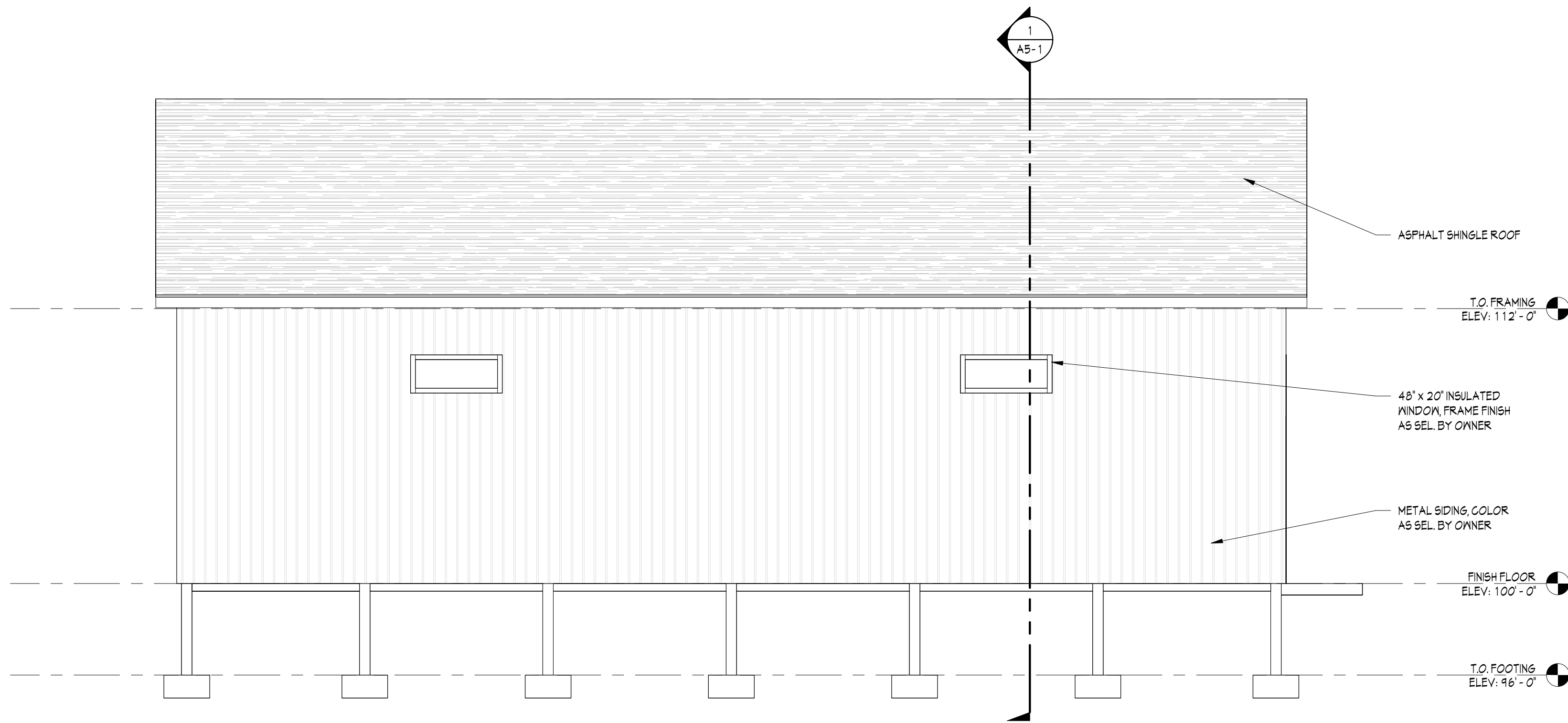
2 PH 5 - EXTERIOR ELEVATION - EAST ELEV - GYM
A4-2 1/8" = 1'-0"



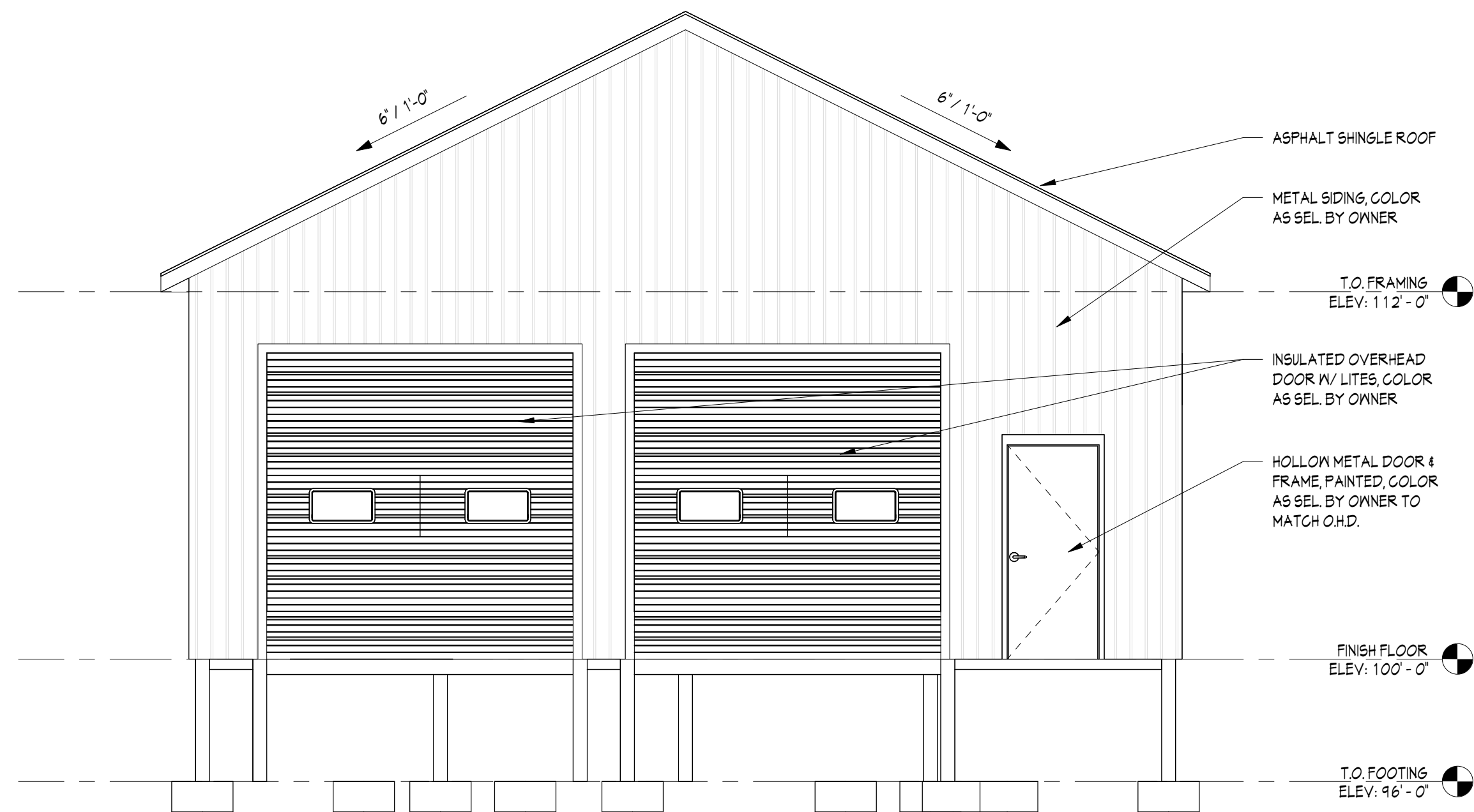
PH 5 - NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH MATERIALS SCHEDULE				
EXTERIOR				
BRICK-1	RED BRICK (UPPER WALL)	REDLAND BRICK	YORKTOWN MODULAR WITH 5% JASLOR	-
BRICK-2	BROWN BRICK (BASE OF WALL)	REDLAND BRICK	ESSEX MODULAR	-
CMU-1	CONCRETE MASONRY UNIT (UPPER WALL)	CONSUMERS CONCRETE SMOOTH FACE UNIT	X	-
CMU-2	CONCRETE MASONRY UNIT (BASE OF WALL)	CONSUMERS CONCRETE SMOOTH FACE UNIT	X	-
MTL-1	GRAVEL STOP	FIRESTONE	BONE WHITE	MATCH EXST.
CS-1	CAST STONE	TERRYS PRECAST	110 LIGHT BUFF	MATCH EXST.

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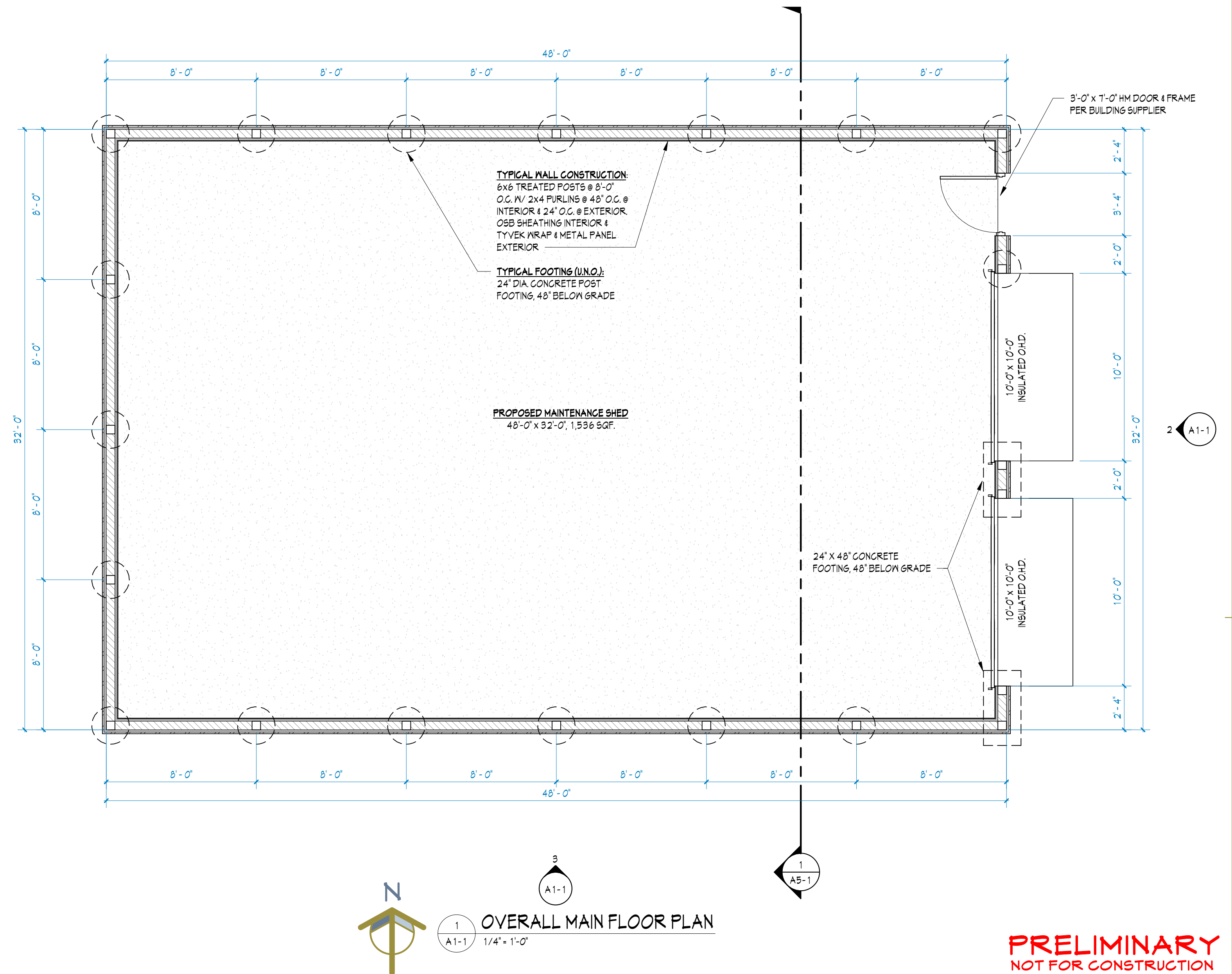
3 SOUTH ELEVATION
A1-1 1/4" = 1'-0"



2 EAST ELEVATION
A1-1 1/4" = 1'-0"

GENERAL PROJECT NOTES:
1. DIMENSIONS ARE TO FACE OF STUD/FRAMING
2. ALL LUMBER SIZES TO BE DETERMINED BY LUMBER SUPPLIER

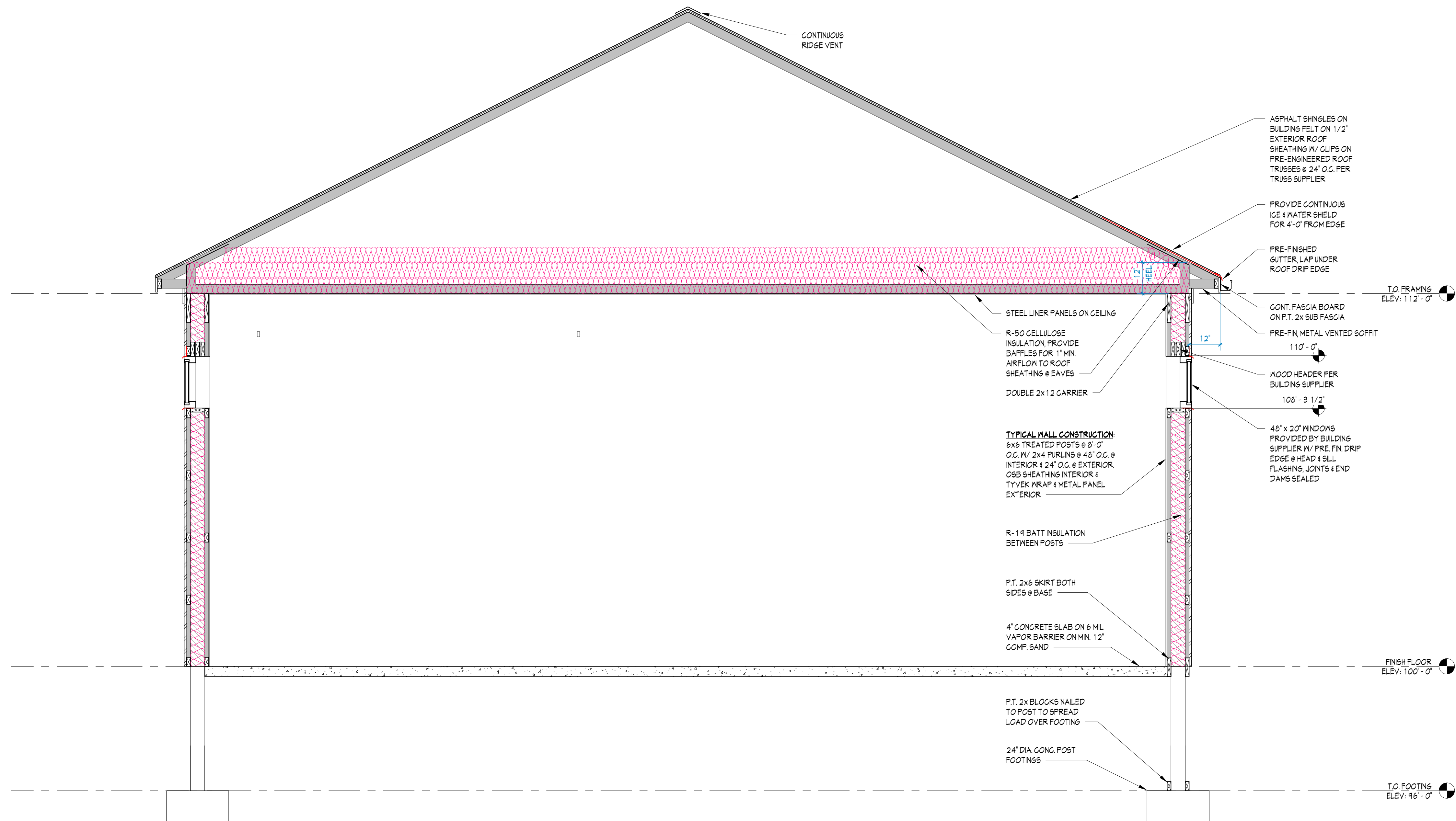
FOUNDATION NOTES:
1. ALL FOOTINGS TO BE PLACED ON UN-DISTURBED SOILS
2. ALL SLABS TO BE PLACED ON MIN. 12" COMPACTED SAND FILL
3. SOIL BEARING CAPACITY ASSUMED TO BE 3,000 PSF MINIMUM
4. CONCRETE STRENGTH:
A. WALLS & FOOTINGS: 3,500 PSF
B. CONCRETE FLAT WORK: 4,000 PSF



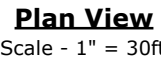
1 OVERALL MAIN FLOOR PLAN
A1-1 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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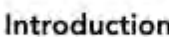


1 TRANSVERSE BUILDING SECTION
A5-1 1/2" = 1'-0"



Schedule						
Symbol	Label	QTY	Catalog	Description	Manufacturer	Input Power
	S5(E X)	5	RSX2 LED P5 40K R5 MVOLT SPA MLTAIR2PIRHH DDBXD ON 20" SSS POLE WITH 2'6" BASE	EXISTING - RSX Area Fixture Size 2 P5 Lumen Package 4000K CCT Type R5 Distribution	Lithonia Lighting	213.48
	W1	4	WPX1 LED P2 40K Mvolt	WPX1 LED wallpack 3000lm 4000K color temperature 120-277 Volts	Lithonia Lighting	24.42
	W3	3	WPX3 LED 40K Mvolt	WPX3 LED wallpack 9000lm 4000K color temperature 120-277V	Lithonia Lighting	72.33
	W1(EX)	5	WPX1 LED P2 40K Mvolt	EXISTING - WPX1 LED wallpack 3000lm 4000K color temperature 120-277 Volts	Lithonia Lighting	24.42
	W1(R)	1	WPX1 LED P2 40K Mvolt	RELOCATED - WPX1 LED wallpack 3000lm 4000K color temperature 120-277 Volts	Lithonia Lighting	24.42
	SW1	2	WW-2 4000k	WWAC/EM WEAtherway in Normal AC Mode	Evenlite Inc	15.8

Designer
JVW
Date
02-13-26
Scale
Not to Scale
Drawing No.
Summary



Luminaire	Height (H)	Width (W)	Depth (D)	Tire Contact Location		Weight
				A	B	
WPF1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.6" (16.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8 kg)
WPF2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7 kg)
WPF3	9.5" (24.3 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.3" (12.0 cm)	0.3" (1.7 cm)	11.0 lbs (5.0 kg)

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

NOTES

1. All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package.

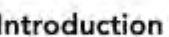
INTENDED USE The LED light packs are designed to provide long-term, effective, ambient illumination for use in a variety of applications. The LED light packs are not intended for use as a general lighting source for use in homes or offices. The LED light packs are not intended for use in applications where the ambient lighting is required to be dimmable or where the ambient lighting is required to be dimmable. The LED light packs are not intended for use in applications where the ambient lighting is required to be dimmable or where the ambient lighting is required to be dimmable.

CONSTRUCTION The LED light packs are constructed from a high-quality, durable, and long-lasting material. The LED light packs are constructed from a high-quality, durable, and long-lasting material. The LED light packs are constructed from a high-quality, durable, and long-lasting material. The LED light packs are constructed from a high-quality, durable, and long-lasting material.

ELECTRICAL The LED light packs are designed to operate on a standard 120V AC power source. The LED light packs are designed to operate on a standard 120V AC power source. The LED light packs are designed to operate on a standard 120V AC power source. The LED light packs are designed to operate on a standard 120V AC power source.

WARRANTY The LED light packs are covered by a limited warranty. The LED light packs are covered by a limited warranty. The LED light packs are covered by a limited warranty. The LED light packs are covered by a limited warranty.

Notes: Actual performance may vary as a result of site-specific environmental and installation conditions.

WYKLED
k_{max} 09/19/25

Lumber Size	Height (H)	Width (W)	Depth (D)	Side Corded Location:		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.8" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8 kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.3" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0 kg)

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

[illegible]

5E31V (7379) • WYX LED
Rev. 09/19/25



Gaines Charter Township Fire Department Inspection Report

Plan Review-Site Plan Inspection Result

Inspection Status

Completed

Inspected by

24-53 - Pat Quick

Completed at

01/27/2026

Business Name	Address	Suite	City	Zip
Dutton Christian School	6729 Hanna Lake Ave SE	--	Caledonia	49316

Introduction:

ITEM: REVIEW REQUIREMENTS We have reviewed your plans for the above facility. The following items are noted for compliance with code requirements. Code references to the International Fire Code 2015, as amended, are noted IFC; references to the Michigan/International Building Code are noted MBC; references to National Fire Protection Association codes and standards are noted NFPA. Please review the appropriate code for further details. All construction and processes must meet applicable code provisions.

RESULT: Plan Review

REMARK:

Phases 5 & 6 building addition to existing school with an auxiliary maintenance building as part of the master plan for overall property development.

General Construction and Demolition:

ITEM: REQUIRED ACCESS Approved vehicle access for fire fighting shall be provided to all construction or demolition sites prior to and during the time of construction. Access road(s) (20 feet wide, designed and maintained to support a vehicle weighing 20 tons on a single axle with dual wheels and standard road tires) shall be constructed as required. This road may be gravel, but vehicle access must be maintained and unobstructed at all times. (IFC 501.4, 503.1.1, 503.2.3, 503.4, 3310.1)

RESULT: Plan Review

ITEM: HYDRANTS REQUIRED Construction involving combustibile building materials shall not occur until operable fire hydrants are in place within 500 road feet of the furthest point of any building being constructed. (IFC 3312.1)

RESULT: Plan Review

ITEM: FIRE LANE(S) Each side of the building where a fire lane is required must have an entrance as close to the middle as possible. The fire lane must be a minimum of 10 feet and a maximum of 35 feet from the building, and within 100 feet of all fire department connections. (IFC 503.1.1)

RESULT: Plan Review

REMARK:

Add a Fire Lane to the north side of the building where new additions are being added for FD access to North and West sides of the new and existing building.

Current plans show a 10ft wide vehicle access to Phase 6 addition, extend to existing building and widen to proper fire lane width with an approved turn around. (IFC 503.2.5)

ITEM: "NO PARKING - FIRE LANE" SIGNS "No Parking – Fire Lane" signs shall be placed no closer than 25 feet apart or further than 75 feet apart. (IFC 503.1.1) The bottom of the sign must be 6'4" from grade level.

RESULT: Plan Review

ITEM: TRAFFIC CALMING DEVICES PROHIBITED Traffic calming devices shall be prohibited unless approved by the fire code official (IFC 503.4)

RESULT: Plan Review

Fire Protections Systems:

ITEM: SPRINKLER SYSTEM REQUIRED An approved automatic sprinkler system shall be provided throughout the entire building or in specific portion (s)/area(s) identified by the Fire Marshal in accordance with the code. (IFC 903; NFPA 13)

RESULT: Plan Review

Closing:

ITEM: SUBJECT TO FIELD INSPECTION There may be additional requirements as a result of conditions found during inspections.

RESULT: Plan Review

Plans Approved or Denied:

ITEM: PLAN APPROVAL Any changes must be reviewed and approved by the Gaines Township Fire

Department. All construction and processes must meet applicable codes and standards.

RESULT: Approved

REMARK:

See notes about fire lane requirements.

Inspection Signatures

Inspector Signature

A handwritten signature in black ink, appearing to read "Pat Quick", written in a cursive style.

24-53 - Pat Quick
Fire Marshal
Deputy Chief

--

pat.quick@gainestownship.org

Fire Inspection Results - Addendum

Added by	Date
24-53 - Pat Quick	02/12/2026
Addendum	
Fire Lane requirement is being removed. Future plans for site show a fire lane as part of another phase to the site.	



February 6, 2026
1581

Via Email: dan.wells@gainestownship.org

Dan Wells, Community Development Director
Gaines Charter Township
8555 Kalamazoo Avenue SE
Caledonia, MI

RE: Dutton Christian School Phases 5 & 6 – Site Plan Review
6729 Hanna Lake Avenue, Section 3, Gaines Charter Township

Dear Dan:

We have reviewed the site plan and stormwater management package for the proposed Dutton Christian School Phases 5 & 6 expansion that we received on January 23, 2026. We provide the following comments for consideration by the Planning Commission and the Applicant:

1. The stormwater management facilities for these phases were designed and built as part of the last project on the site. We note that the impervious area in phases 5 and 6 appears to be greater than originally planned. At this time, the existing detention basin has capacity to accept the runoff from phases 5 and 6. However, as the site continues to develop, the Applicant may be required to expand the detention pond to account for an increase in the overall impervious area.
2. The Applicant's Engineer shall submit updated pipe sizing calculations to ensure the existing storm sewer is adequate to convey runoff from the area in phases 5 and 6.
3. The Applicant has expressed interest in a larger water service for the building as it continues to expand. The school is currently served by a 2-inch water service, and we anticipate that a new 4-inch service will be adequate to meet the increased demand. The Applicant shall submit the anticipated fixture count for the entire building to our office so the water service and meter size can be confirmed for the building.

Thank you for your consideration in this matter. If you have any questions or concerns, please do not hesitate to contact our office.

Sincerely,

VK Civil


Nathan Bosma, P.E.

NFB/jmg

- c. Bob Terpstra, Township Supervisor
- Rod Weersing, Township Manager
- Connie Giarmo, Planning Commission Chair
- Dakota Swan, Assistant Planner
- Tracy Lawrence, Water & Sewer Administrator
- John Stuyfzand, Building Inspector
- Ken Van Hall, Fire Chief
- Pat Quick, Fire Marshall
- Barry Korhorn, Byron-Gaines Utility Authority
- Alexander DePoy, P.E., Dan Vos Construction
- Jeff Gritter, P.E., VK Civil



PLANNING COMMISSION MEMO

Meeting Date: February 26th, 2025

AGENDA ITEM: 6.B

REQUEST: Special Use Permit

ADDRESS: 6929 Hammond Avenue SE

APPLICANT: Gary Wheeler

ZONING AND PROPERTY SIZE: Suburban Residential (SR), 0.3 acres

REPORT BY: Dakota Swan, Assistant Planner



OVERVIEW:

The applicant requests a special use permit to allow the construction of a 484 square-foot addition to an existing 583 square-foot residential accessory building in the Suburban Residential zoning district, making the building 1,067 square feet in total. As per Section 18.20 of the Gaines Charter Township Zoning Ordinance (GCTZO), the property is limited to 864 square feet worth of accessory buildings based on the zoning designation and property size; the request for a special use permit is 203 square feet in excess of what is permitted “by-right” on this parcel. The Planning Commission has the ability to issue a special use permit for accessory buildings larger than what is permitted “by-right”.

The Planning Commission's role is to review the special use permit request for consistency with Section 27.40 – Special Land Use Standards, and Section 18.20.A.9 – Oversized Accessory Buildings.

SURROUNDING ZONING:

	NORTH: Suburban Residential	
WEST: Suburban Residential	SUBJECT PARCEL	EAST: Neighborhood Commercial
	SOUTH: Suburban Residential	

PROCESS:

The request for a special use permit is subject to the following process:

1. Submittal by applicant (Section 25.20 A-C)
2. Completeness review by Zoning Administrator (25.20 D)
3. If complete, a public hearing shall be scheduled (Section 25.70)
4. Administrative review of special land use and preliminary plan by Zoning Administrator
5. Public hearing and review and decision by the Planning Commission (Section 25.50)

STANDARDS OF REVIEW:

Requests for special use permits are subject to review against Section 18.20.A.9 – Oversized Accessory Buildings, and Section 27.40 – Special Land Use Approval Standards. The Planning Commission shall review all details of the application and submittal to ensure satisfaction of requirements outlined in Sections 18.20.A.9 and 27.40.

Section 18.20.A.9 – Oversized Accessory Buildings:

A. Whether the intended use of the accessory building is authorized within the applicable zoning district.

Meets standard. Detached accessory buildings are a permitted use in the SR zoning district, and oversized accessory buildings are fairly typical in suburban areas of the Township.

B. The size, type of construction, and general architectural character of the residential accessory building is compatible with buildings in the vicinity.

Undetermined. The accessory building will be of pole barn construction on a concrete slab, which is a common mode of construction for accessory buildings in the SR zoning district. The building is planned to include cedar trim and finishings, and the architectural style of the building is compatible with the existing accessory building and dwelling on the property, and other similarly sized accessory buildings in the vicinity. The proposed building is larger than what is typical of accessory buildings in the SR zoning district and in the immediate area; the Planning Commission should determine whether the size of the proposed building is compatible with surrounding properties.

C. The resulting increase in size and scale of the residential accessory building does not result in a visible impact that is overly obtrusive to neighboring residents.

Meets standard. Staff does not anticipate that the accessory building will be visually obtrusive or unappealing to neighboring properties. The building expansion will match the architectural character of the existing building and will be screened by an existing privacy fence surrounding the property. The visual impact from the expansion will be largely unnoticeable from the Hammond Avenue right-of-way.

D. Proposed setbacks from lot lines and separation from dwellings on the adjacent properties are appropriate based on the size and scale of the proposed accessory building.

	Required	Proposed
Front Setback	Greater than or equal to the established front setback for the principal building	N/A
Side Setback	8 feet	8 feet
Rear Setback	5 feet	Ca. 57 feet

E. If the property is intended to be divided in the future, the location of the residential accessory building does not impact the ability to divide the land in a compliant manner while maintaining required setbacks from the building.

Not applicable. Under current zoning, it is impossible for the parcel to be divided due to frontage and access requirements, even if rezoned to Village Residential.

F. The increase in residential accessory building square footage does not result in adverse stormwater runoff impact and degradation of sensitive natural resources.

Meets standard. Staff does not anticipate any adverse stormwater runoff impacts to arise should the application be approved and the building addition be constructed.

Section 27.40 Special Land Use Approval Standards:

A. ZONING ORDINANCE AND MASTER PLAN: The special land use will be consistent with the goals, intent, and purposes of the Zoning Ordinance and the Master Plan. The associated site plan will comply with all requirements of this Ordinance and satisfy all site plan standards of approval.

Meets Standard. Staff finds that the request is consistent with the intent of the Zoning Ordinance and the Master Plan. Accessory buildings are a permitted use in the SR zoning district and are fairly typical in suburban areas of the Township. The Master Plan States:

The Suburban Residential area is intended primarily for single family home development, both platted and unplatted, and minimum lot size should continue in the traditional scale of about 1-5 homes per acre. Accessory dwelling units may be allowed with a special use permit.

B. USE COMPATABILITY AND CHARACTER: The site plan and buildings associated with the use will be designed and constructed, and the use will be operated and maintained in ways to ensure compatibility with adjacent and nearby land uses. Establishment of the use will not degrade the essential character of the area in which it is proposed. Further, it will not impede the normal and orderly development and improvement of surrounding property and shall not have significant adverse impacts upon adjoining properties or uses.

Meets standard. This request is consistent with adjacent and nearby land uses. Accessory buildings are permitted in the SR zoning district, however, due to the size of the proposed building, a special use permit is necessary. Staff does not anticipate that the proposed accessory building will impede development or otherwise degrade the character of the area.

C. PUBLIC SERVICES AND INFRASTRUCTURE: The use and its associated buildings and site improvements will be adequately served by essential infrastructure and services, such as roads, stormwater drainage infrastructure, schools, law enforcement, and fire protection; will not create excessive additional requirements at public cost for infrastructure; and will not be detrimental to the economic welfare of the community.

Meets standard. The proposed accessory building will have no bearing on public utilities or infrastructure.

D. IMPACT AND NUISANCES: The use and its associated buildings and site improvements will not be hazardous or disturbing to existing or future uses in the same general vicinity and in the community as a whole, and it will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to persons, property or general welfare by reason of excessive activity, noise, vibration, smoke, fumes, glare, odor, or visual impact.

Meets standard. An oversized accessory building is not anticipated to be hazardous or detrimental to any individuals, property, or the general welfare. The main impact of the accessory building would be visual from adjacent properties or Hammond Avenue; however, the property does have a privacy fence which will assist in screening the building. Due to the configuration of the lot, existing structures, and the proposed addition, staff anticipates that the visual impact from Hammond will be minimal. Staff finds that the visual impact will be adequately screened by existing trees on the property.

E. ENVIRONMENTAL IMPACT: The use and its associated buildings and site improvements will not cause environmental degradation or significant change to landscapes, topography, and sensitive natural resources.

Meets standard. The construction of an accessory building is not anticipated to cause environmental degradation or negative consequences to sensitive natural resources. EGLE wetland mapping software does not indicate the presence of wetlands or other environmentally sensitive areas on the property.

F. TRAFFIC: The use will not result in unsafe traffic conditions or negative impacts on bicycle and pedestrian travel and shall not create or substantially add to traffic hazards in the area.

Meets standard. Staff does not find that the proposed special land use will create an excessive amount of additional traffic.

G. PRECEDENCE AND REASONABLE LAND USE: The proposed use shall not set precedents for development, which could adversely affect the long-term plans or policies of the Township. The proposed use will be reasonable.

Meets Standard. the proposed accessory building addition would not set negative precedence or otherwise impede future development.

STAFF RECOMMENDATION

Based on our review, Staff recommends that the site plan be approved.

DETACHED GARAGE ADDITION FOR:

THE GARY WHEELER RESIDENCE

CALEDONIA, MICHIGAN



TODD A. HENDERSON
& ASSOCIATES
4699 WESTLAWN PARKWAY
WATERFORD , MICHIGAN

PHONE: (248) 721-3542
toddhendo@yahoo.com

SEAL:

THE GARY WHEELER RESIDENCE
6929 HAMMOND AVE SE
CALEDONIA, MICHIGAN

DETACHED GARAGE ADDITION FOR:

REVISIONS:
PERMIT ISSUE 09/28/2025

DATE: _____

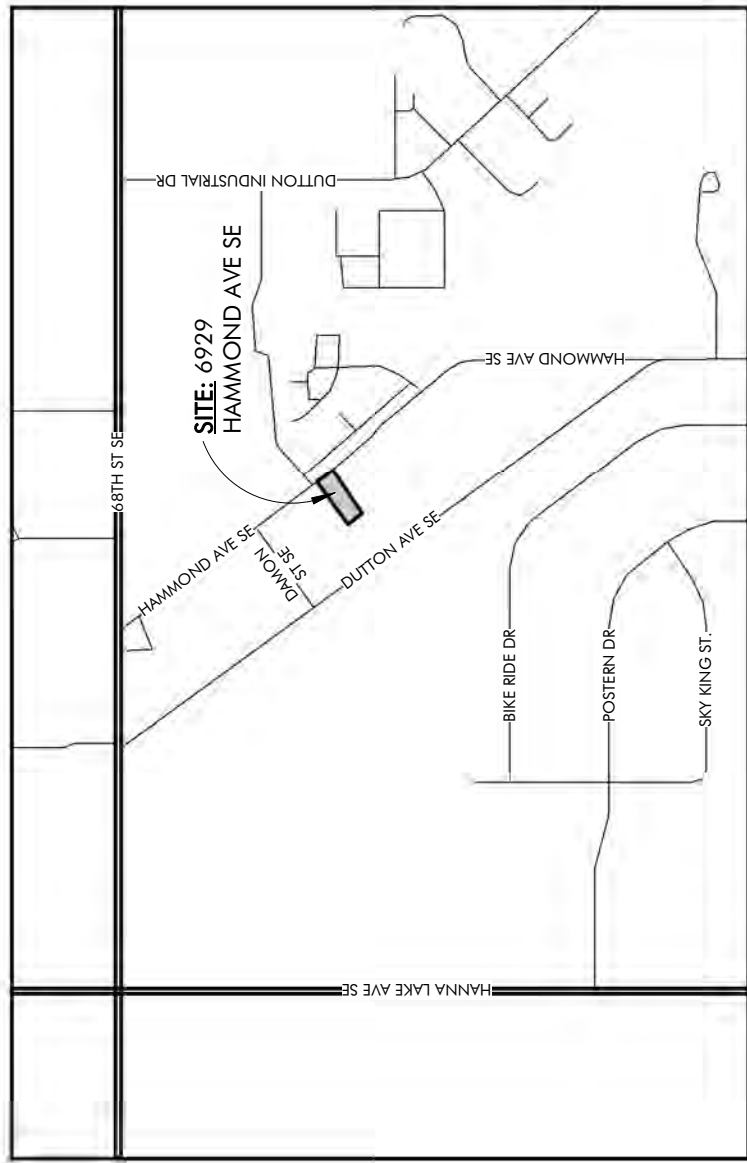
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SHEET TITLE: COVER SHEET

DO NOT SCALE DRAWINGS
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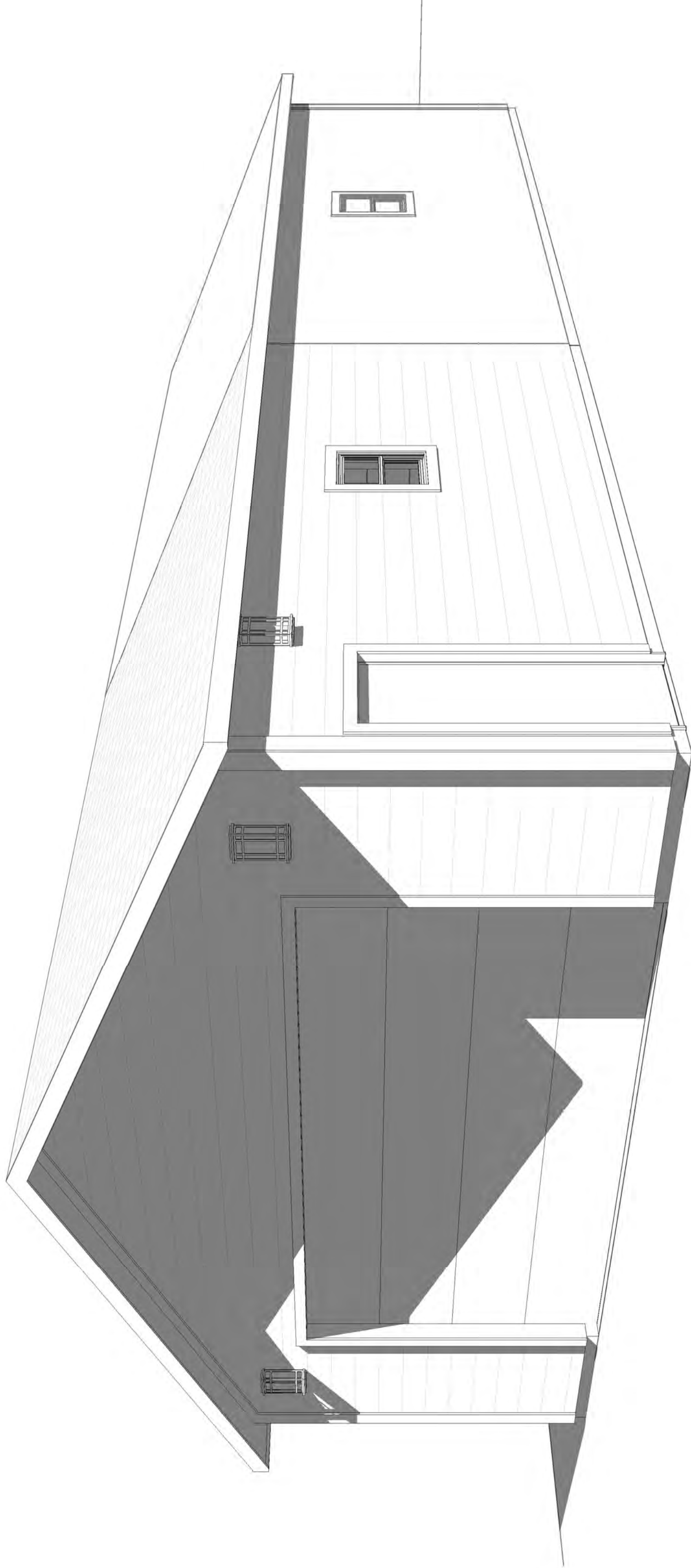
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GW/2501
SHEET NUMBER:
A1.0

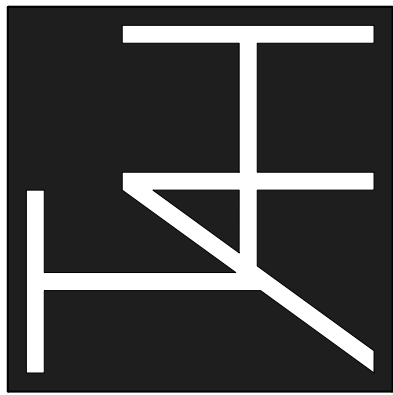
LOCATION MAP



SHEET INDEX

- A1.0 COVER SHEET
- A1.1 ARCHITECTURAL SITE PLAN
- A2.1 GARAGE DEMO PLAN / GARAGE FLOOR PLAN / GARAGE ROOF PLAN
- A3.1 ELEVATIONS
- A5.1 WALL SECTIONS
- S1.1 FOUNDATION PLAN / ROOF FRAMING PLAN





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PHONE: (248) 721-3542
toddhendo@yahoo.com

SEAL:

DETACHED GARAGE ADDITION FOR:
THE GARY WHEELER RESIDENCE
6929 HAMMOND AVE SE
CALEDONIA, MICHIGAN

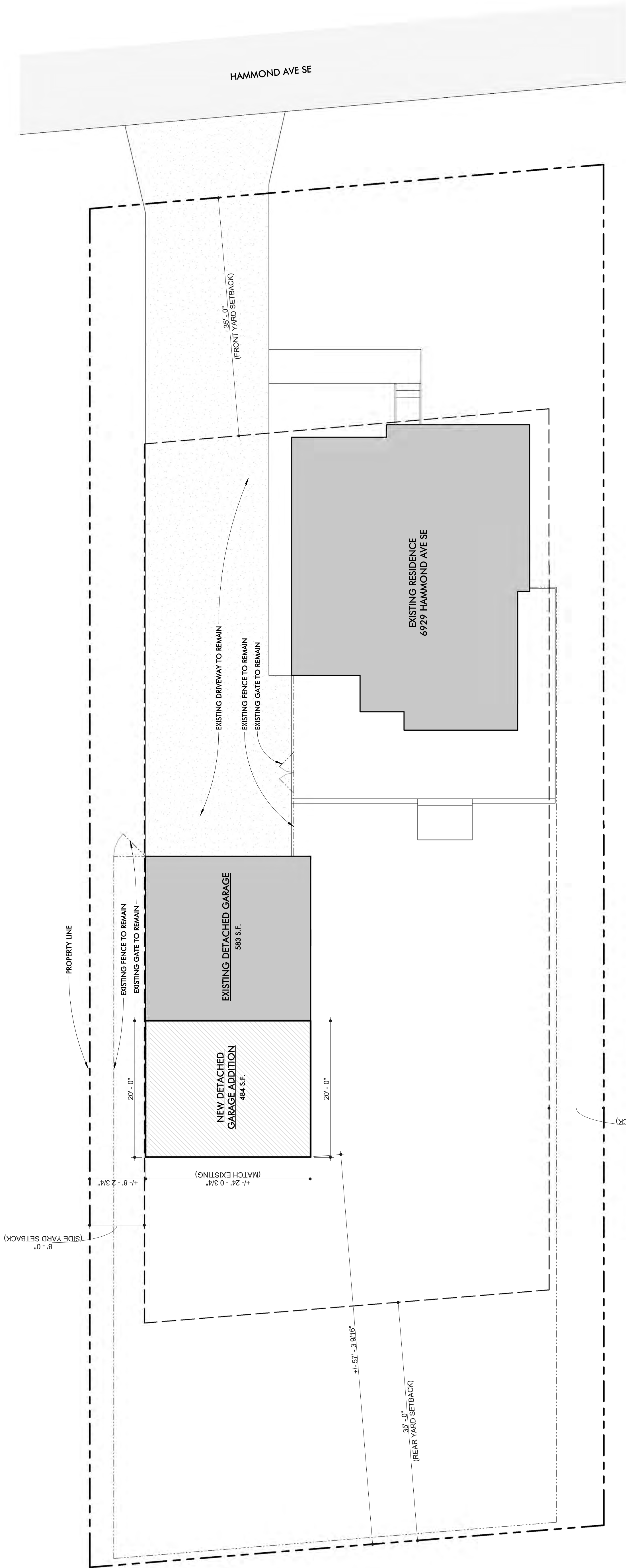
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ARCHITECTURAL SITE
PLAN

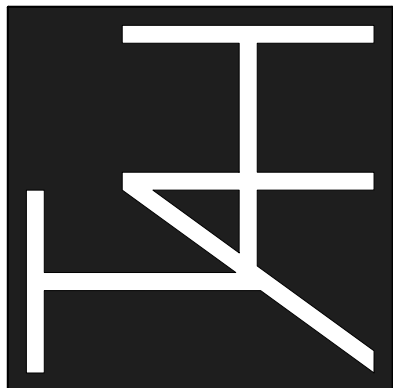
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JOB NUMBER:
GW2501
SHEET NUMBER:
A1.1



1
A1.1
ARCHITECTURAL SITE PLAN
SCALE : 1/8" = 1'-0"

ZONING INFORMATION	
ZONING DISTRICT:	RL-10 (LOW DENSITY RESIDENTIAL)
MAXIMUM BUILDING HEIGHT	= 35'-0"; 2.5 STORIES
REAR YARD SETBACK	= 35'-0"
FRONT YARD SETBACK	= 35'-0"
SIDE YARD SETBACKS	= 8'-0" (MAIN HOUSE) = 8'-0" (ACCESSORY BUILDING OVER 200 S.F.)
MAXIMUM LOT AREA COVERAGE BY BUILDINGS	= 30%
LOT SIZE:	13,123 SQ. FT.
EXISTING RESIDENCE:	13,123 SQ. FT.
EXISTING GARAGE:	583 SQ. FT.
ADDITION:	484 SQ. FT.
TOTAL BUILDING COVERAGE:	18,190 SQ. FT.
	= 16.15%



TODD A. HENDERSON
& ASSOCIATES

699 WESTLAWN PARKWAY
WATERFORD, MICHIGAN

PHONE: (248) 721-3542
toddhendo@yahoo.com

SEAL:

THE GARY WHEELER RESIDENCE

DETACHED GARAGE ADDITION FOR:

6929 HAMMOND AVE SE
 CALEDONIA, MICHIGAN

REVISIONS:

PERMIT ISSUE 09/28/2025

DATE: _____

DRAWN:

TAH

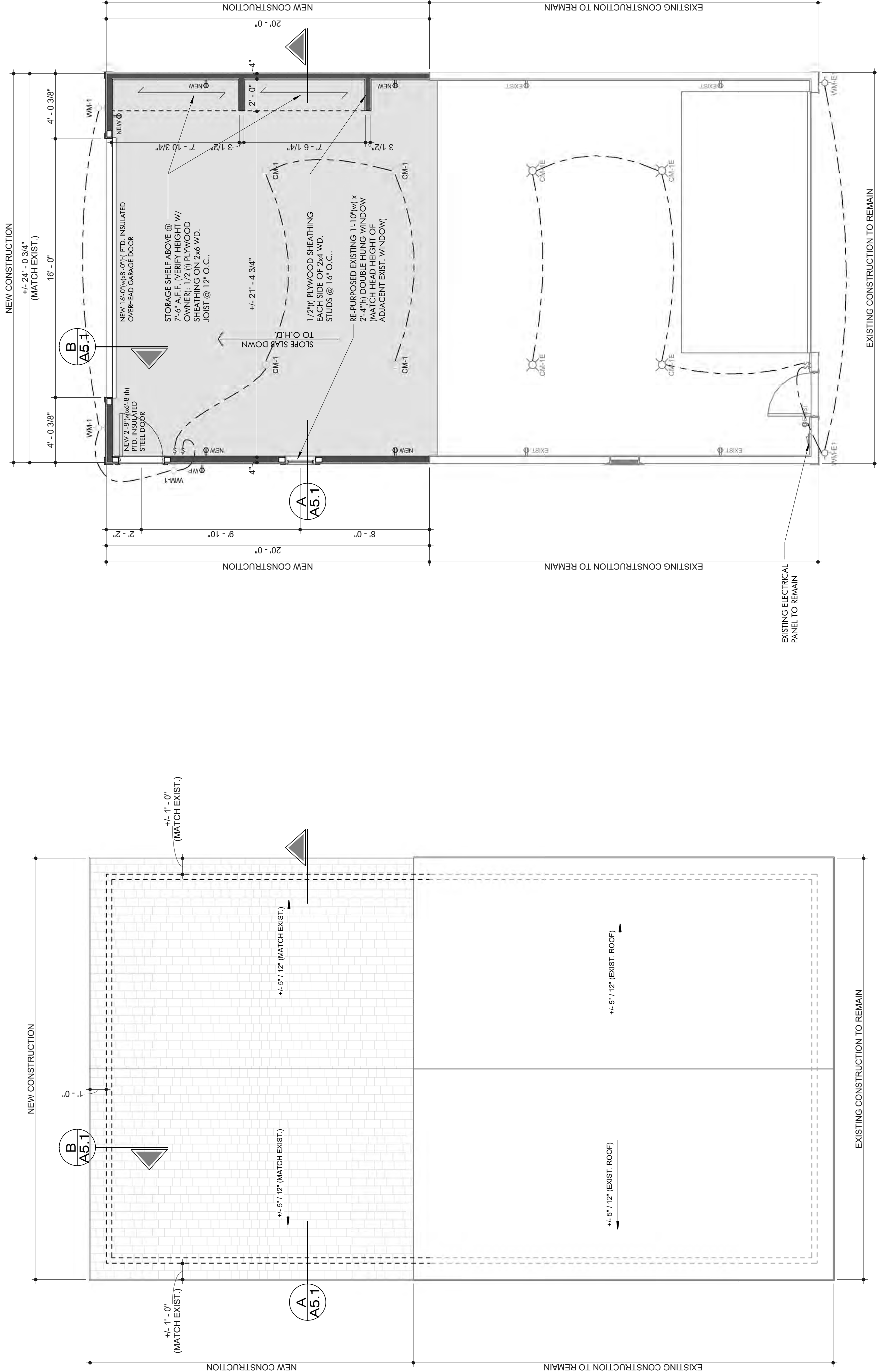
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GW2501

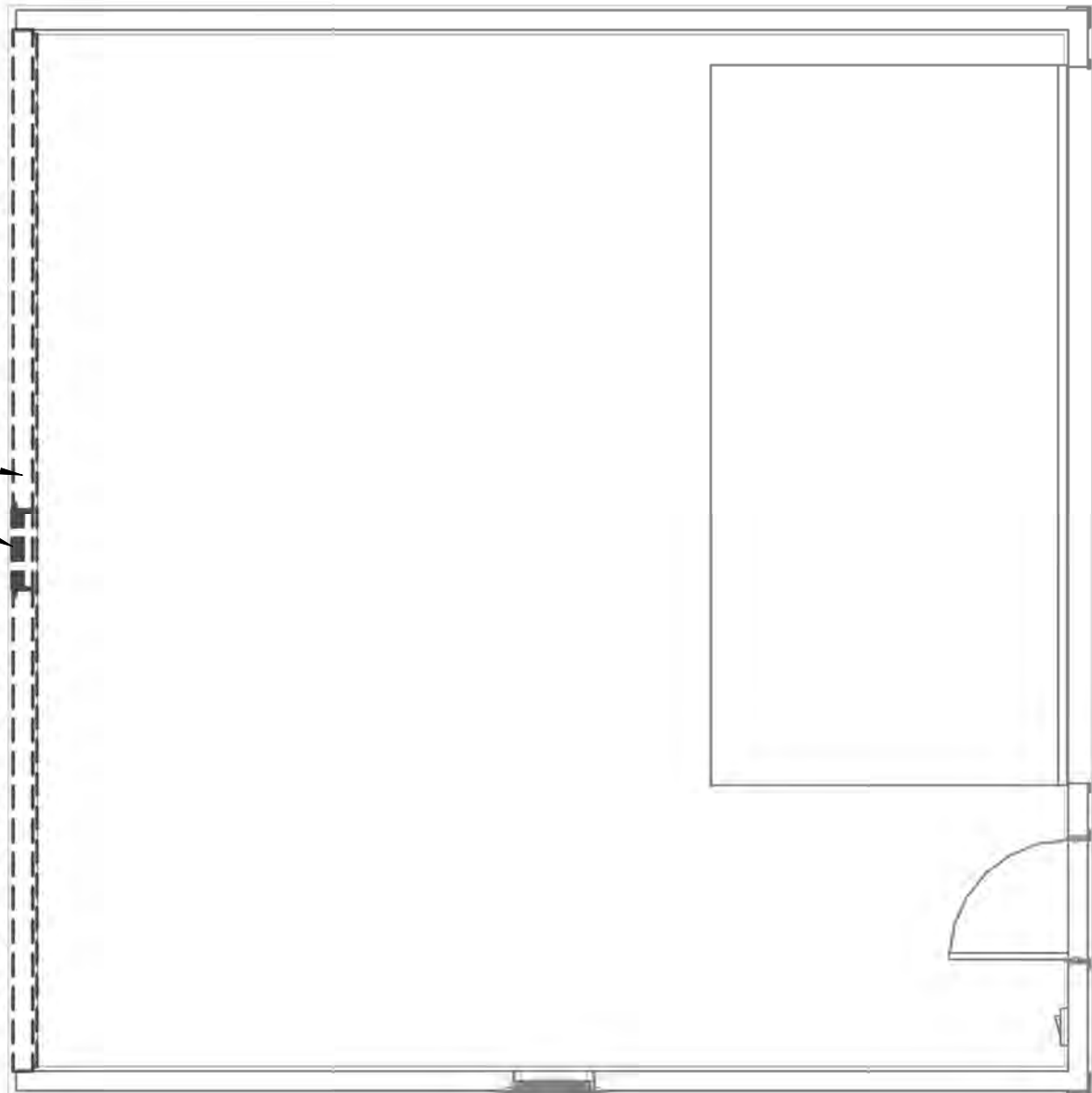
SHEET NUMBER:

A2.1



1 MAIN LEVEL FLOOR PLAN

MAIN LEVEL DEMOLITION PLAN



MAIN LEVEL DEMOLITION PLAN

GENERAL ROOF PLAN NOTES:

- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. IF A DIMENSIONAL DISCREPANCY ARISES, NOTIFY THE ARCHITECT IMMEDIATELY.
- THE ROOF OVERHANG (O.H.) IS MEASURED FROM THE EXTERIOR FACE OF ROUGH SHEATHED WALL TO THE TOP OUTSIDE FACE OF THE ROUGH FASCIA UNLESS NOTED OTHERWISE. (REFER TO SECTIONS & ELEVATIONS.)
- THE ROOF OVERHANG SHALL BE 12" MINIMUM (UNLESS NOTED OTHERWISE).
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL APPLICABLE TRADES TO ENSURE PROPER ROUTING, DROPS, ETC. FOR THE H.V.A.C. ELECTRICAL, PLUMBING, ETC. DURING THE ROUGH FRAMING.
- IF ANY QUESTIONS ARISE AS TO THE ARCHITECTURAL INTENT OF THESE DOCUMENTS, IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO ASK SUCH QUESTIONS OF THE ARCHITECT, AS THE ARCHITECT IS THE SOLE INTERPRETER OF THESE DOCUMENTS. IF NO SUCH QUESTIONS ARE ASKED, IT IS ASSUMED THAT THE ARCHITECTURAL INTENT OF THE DOCUMENTS IS CORRECT.
- IF THERE ARE ANY H.V.A.C. DUCTS IN THE ATTIC SPACE THEN THE ATTIC MUST BE EQUIPPED WITH A THERMOSTATICALLY CONTROLLED POWER VENT TO ENSURE PROPER ATTIC TEMPERATURE CONTROL. THIS IS TO PRIMARILY ELIMINATE THE POSSIBILITY OF THE DEVELOPMENT OF ICE DAMS IN WINTER CONDITIONS. DUCTS MUST BE INSULATED.
- ALL MISCELLANEOUS MECHANICAL ROOF PENETRATIONS (I.E. VENT PIPES, ETC.) SHALL BE CLAD IN METAL TO MATCH THE EXISTING ROOFING MATERIAL.
- ALL ROOFING MATERIALS TO BE INSTALLED TO BE IDENTICAL TO THE ARCHITECT'S IN SHOP DRAWINGS. SUBMITTALS FOR ROOFING MATERIALS TO BE REVIEWED AND SELECTED BY THE ARCHITECT.
- CE & WATER SHIELD SHALL BE PROVIDED FROM FIN FASCIA TO 4.0" MIN. INTERIOR FACE OF EXTERIOR WALL AND AT ALL VALLEYS. PROVIDE SYNTHETIC UNDERLAYMENT ON REMAINDER OF ROOF (UNION D).

GENERAL ELECTRICAL NOTES:

- FURNISH LABOR AND MATERIALS TO PROVIDE A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE PLANS.
- PROVIDE NEW LIGHTING FIXTURES AS SHOWN. ELECTRICAL CONTRACTOR TO REVIEW FIXTURES FOR SELECTION WITH OWNER.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA CODES, AND THE CODES OF THE LOCAL MUNICIPALITY, AND THE NATIONAL ELECTRICAL CODE, AND ALL OTHERS THAT MAY BE APPLICABLE.
- ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE NATIONAL BOARD OF FIRE UNDERWRITERS LABORATORIES.
- ALL WIRING SHALL BE NEW COPPER CONDUCTORS WITH TYPE THHN OR XHHW INSULATION AND SHALL BE INSTALLED IN GALV. ELECTRICAL METALLIC TUBING OR RIGID STEEL CONDUIT.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS, PAY ALL ASSOCIATED FEES, AND ARRANGE FOR ALL INSPECTIONS FOR THEIR WORK. AT THE COMPLETION OF ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL FURNISH THE OWNER WITH ALL CERTIFICATES OF FINAL INSPECTIONS AND APPROVALS.
- ALL SWITCHES AND SWITCHES SHALL CONFORM TO NEC REQUIREMENTS. COLOR TO BE SELECTED BY OWNER.
- ALL CIRCUITS AND EQUIPMENT SHALL BE TESTED UPON COMPLETION OF WORK WHEN REQUESTED.
- THE ELECTRICAL CONTRACTOR IS TO COORDINATE EXACT LOCATION OF ALL FIXTURES AND RECEPTS (LIGHTING, TV, PHONE, ETC.) WITH THE OWNER IN THE PRESENCE OF THE ARCHITECT. (SEE ELECTRICAL SCHEDULES) SECTION 15607 OF THE 2012 ICS IN SUB CONTRACTOR TO PROVIDE SERVICE ENTRANCE.

GENERAL FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FIGURED TO EXTERIOR FACE OF MASONRY OR TO EXTERIOR SHEATHING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE FIGURED TO FACE OF ROUGH STUD UNLESS NOTED OTHERWISE.
- ALL GENERAL CONTRACTORS SHALL COORDINATE ALL APPLICABLE TRADES TO ENSURE PROPER ROUTING, DRILLING AND FINISHING OF ALL PENETRATIONS THROUGH EXISTING WALLS AND CEILING.
- GLASS ADJACENT TO DOORS, TUB AND SHOWER AREAS SHALL BE SAFETY GLASS.
- ALL QUESTIONS ARISE AS TO THE ARCHITECTURAL INTENT OF THESE DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASK SUCH QUESTIONS OF THE ARCHITECT, AS THE ARCHITECT IS THE SOLE INTERPRETER OF THESE DOCUMENTS. IF NO SUCH QUESTIONS ARE ASKED, IT IS ASSUMED THAT THE ARCHITECTURAL INTENT OF THE DOCUMENTS IS UNDERSTOOD.
- ALL FINISHES SPECIFIED FOR ALL FLOORING UNITS PASSING THROUGH OR CONTAINED IN UN-TENPERED CAVITIES.
- CONTRACTOR IS TO VERIFY THAT THE WINDOW MANUFACTURER HAS PROVIDED EGRESS WINDOWS IN ACCORDANCE WITH THE LOCAL BUILDING CODE.
- THE INTERIOR WALLS, FLOOR, AND CEILING SPACE OF THE FOLLOWING ROOM TYPES SHALL CONTAIN INSULATION: LAUNDRY ROOMS, BATHROOMS, POWDER ROOMS, BEDROOMS, AND MECHANICAL ROOMS.
- THE GENERAL CONTRACTOR IS TO COORDINATE THE LOCATION OF ALL FLOOR DRAINS REQUIRED FOR MECHANICAL EQUIPMENT IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS.
- SMOKE DETECTORS IN THE ENTIRE HOUSE SHALL MEET THE REQUIREMENTS OF SECTION R313.3 OF THE 2015 MICHIGAN RESIDENTIAL CODE.
- ALL WORK SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE.

LIGHTING LEGEND / FIXTURE SPECIFICATIONS	
TYPE	DESCRIPTION
CM-1	NEW CEILING MOUNTED LED LIGHT FIXTURE ALLOW 20 WATTS
CM-1E	EXISTING CEILING MOUNTED LIGHT FIXTURE TO REMAIN
WM-1	NEW WALL MOUNTED LED LIGHT FIXTURE ALLOW 20 WATTS
WM-1E	EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN

MISC. ELECTRICAL LEGEND / FIXTURE SPECIFICATIONS

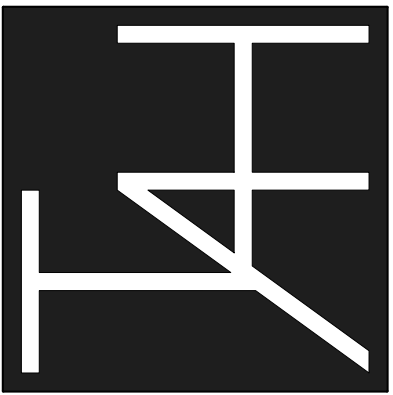
	MOTOR AS NOTED ON PLAN		NEW	NEW DUPLEX OUTLET	\$	SINGLE POLE SWITCH (42" A.F.F. TO CENTERLINE U.O.)
	SINGLE GRILLE BATH FAN FANTECH "PB" SERIES FOR 4" DUCT INSTALLATIONS. WHITE ROUND GRILLE.		EXISTED	DUPLEX DUPLEX OUTLET	\$	3 OR 4 WAY POLE SWITCH (42" A.F.F. TO CENTERLINE U.O.)
	SINGLE GRILLE BATH FAN W/ LIGHT FANTECH "PB" SERIES FOR 4" DUCT INSTALLATIONS. WHITE ROUND GRILLE.		CHG	INTERUPTER OUTLET	0	SINGLE POLE DIMMER SWITCH (42" A.F.F. TO CENTERLINE U.O.)
	COMBINATION SMOKE AND CO2 DETECTOR; HAND-WIRED WITH BATTERY BACK-UP AND SHALL B E INTERCONNECTED PER IBC 2015		GRP	NEW WATERPROOF COVER ON GROUND FAULT INTERRUPTER OUTLET W/ GROUND DEDICATED OUTLET AS NOTED ON PLAN	0	3 OR 4 WAY POLE DIMMER SWITCH (42" A.F.F. TO CENTERLINE U.O.)
	ANGLED POWER STRIP MOUNTED TO UPPER CABINET - APS SERIES BY "ASK LIGHTING" LENGTHS AS REQUIRED TO FIT CABINET WIDTH		NEW	DEDICATED OUTLET AS NOTED ON PLAN	0	FAN SPEED CONTROL SWITCH (42" A.F.F. TO CENTERLINE U.O.)
	KEYPAD LOCATION		CHG	HALF-HOT, HALF-SWITCHED DUPLEX RECEPACLE	\$	PUSH BUTTON CONTROL
			NEW	220V- DUPLEX OUTLET	0	CABLE TELEVISION JACK

DEMOLITION WALL LEGEND

EXISTING WALL TO REMAIN	
DEMOLISHED WALL	

- ALL EXISTING ROOF STRUCTURE IS TO REMAIN.

- THE CONTRACTOR IS TO PROVIDE ALL TEMPORARY SHORING, BRACING, AND SUPPORT NECESSARY TO MAINTAIN EXISTING ROOF ELEVATIONS, AND FLOOR ELEVATIONS



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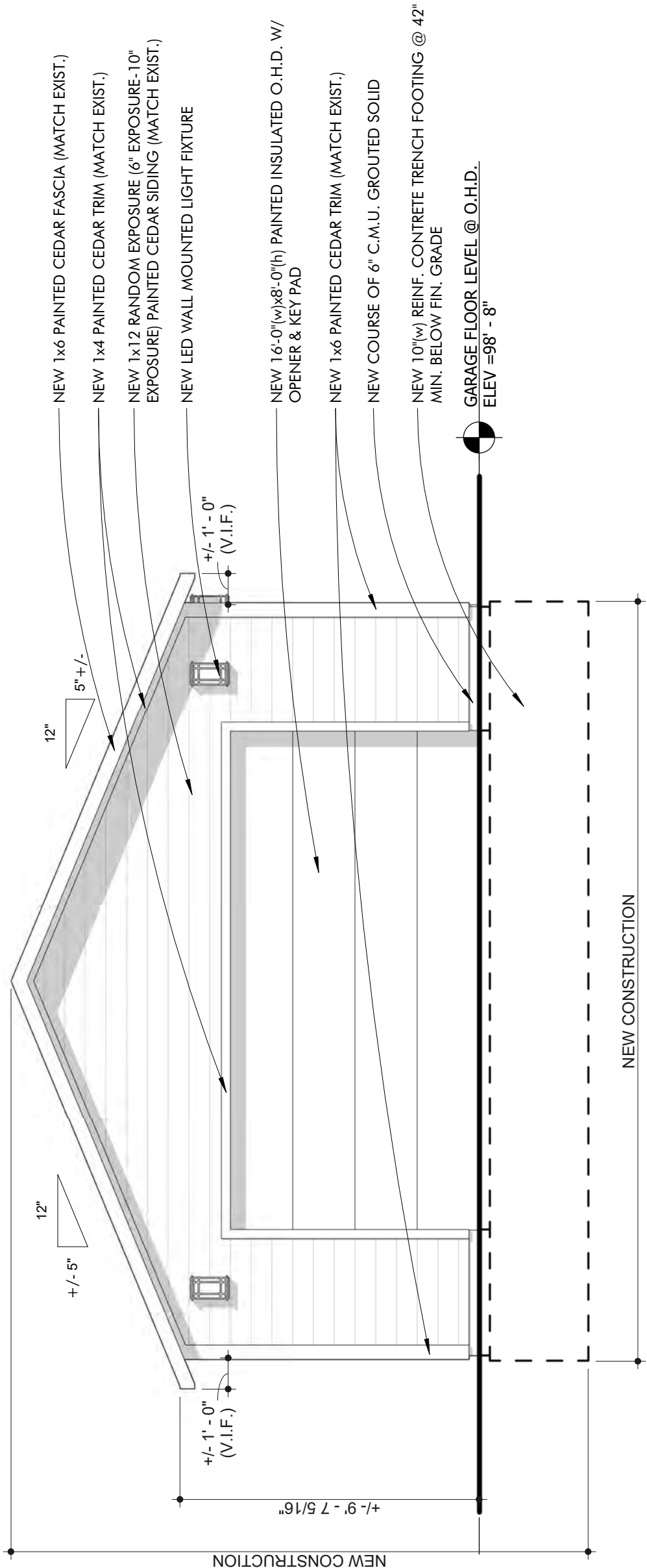
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REVISIONS:	09/28/2025
PERMIT ISSUE	

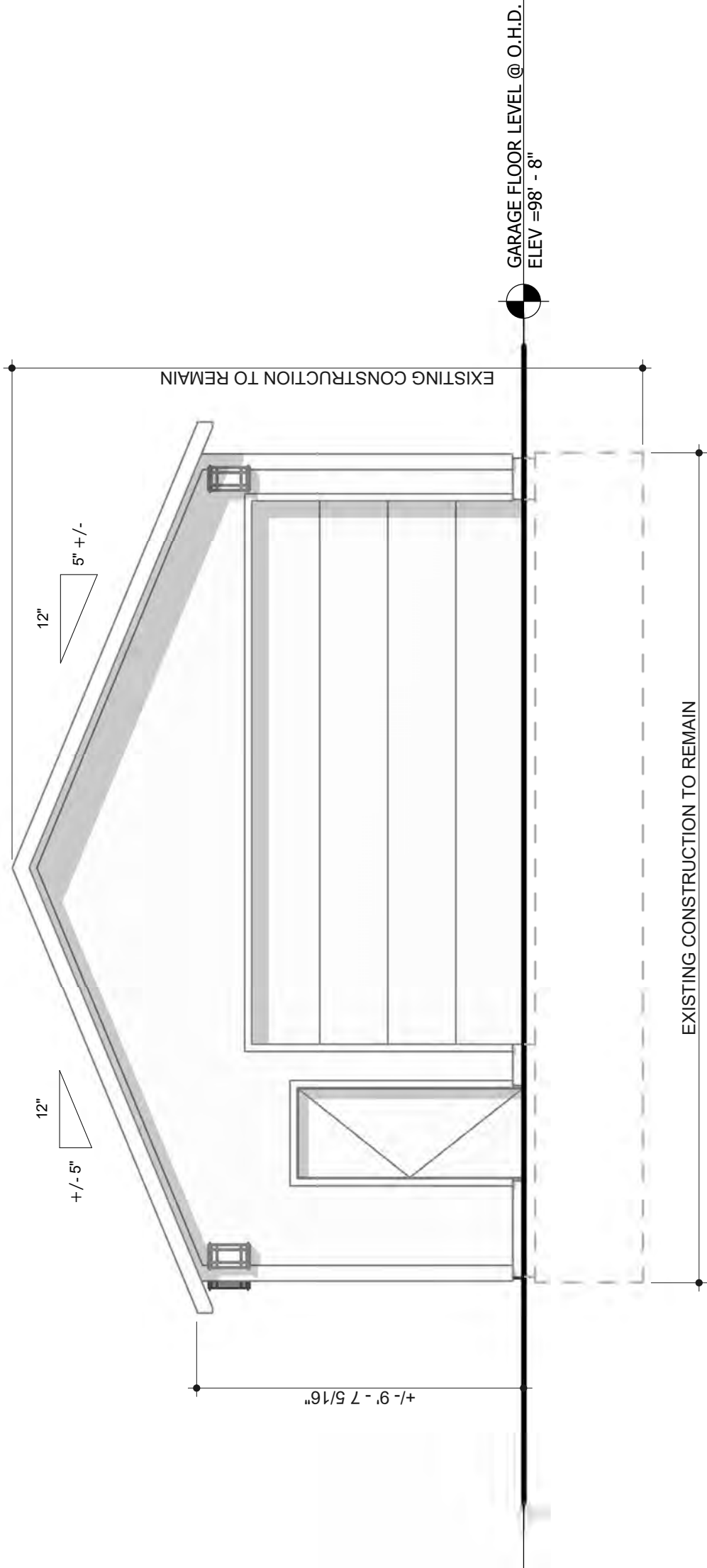
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DRAWN:	
SHEET TITLE:	ELEVATIONS

DO NOT SCALE DRAWINGS
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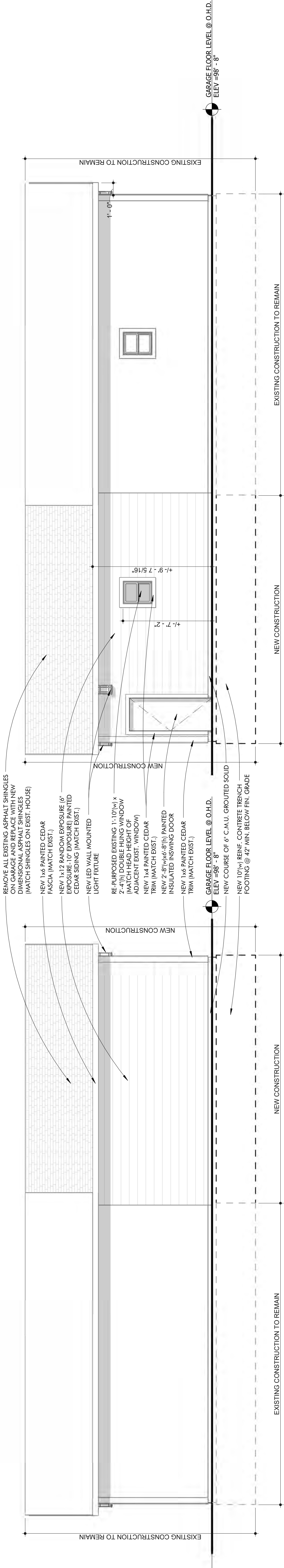
JOB NUMBER:
GW/2501
SHEET NUMBER:
A3.1



1 WEST ELEVATION
A3.1 SCALE : 1/4" = 1'-0"



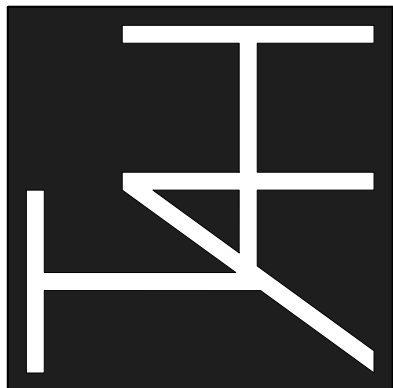
3 EXISTING EAST ELEVATION
A3.1 SCALE : 1/4" = 1'-0"



2 SOUTH ELEVATION
A3.1 SCALE : 1/4" = 1'-0"



4 NORTH ELEVATION
A3.1 SCALE : 1/4" = 1'-0"



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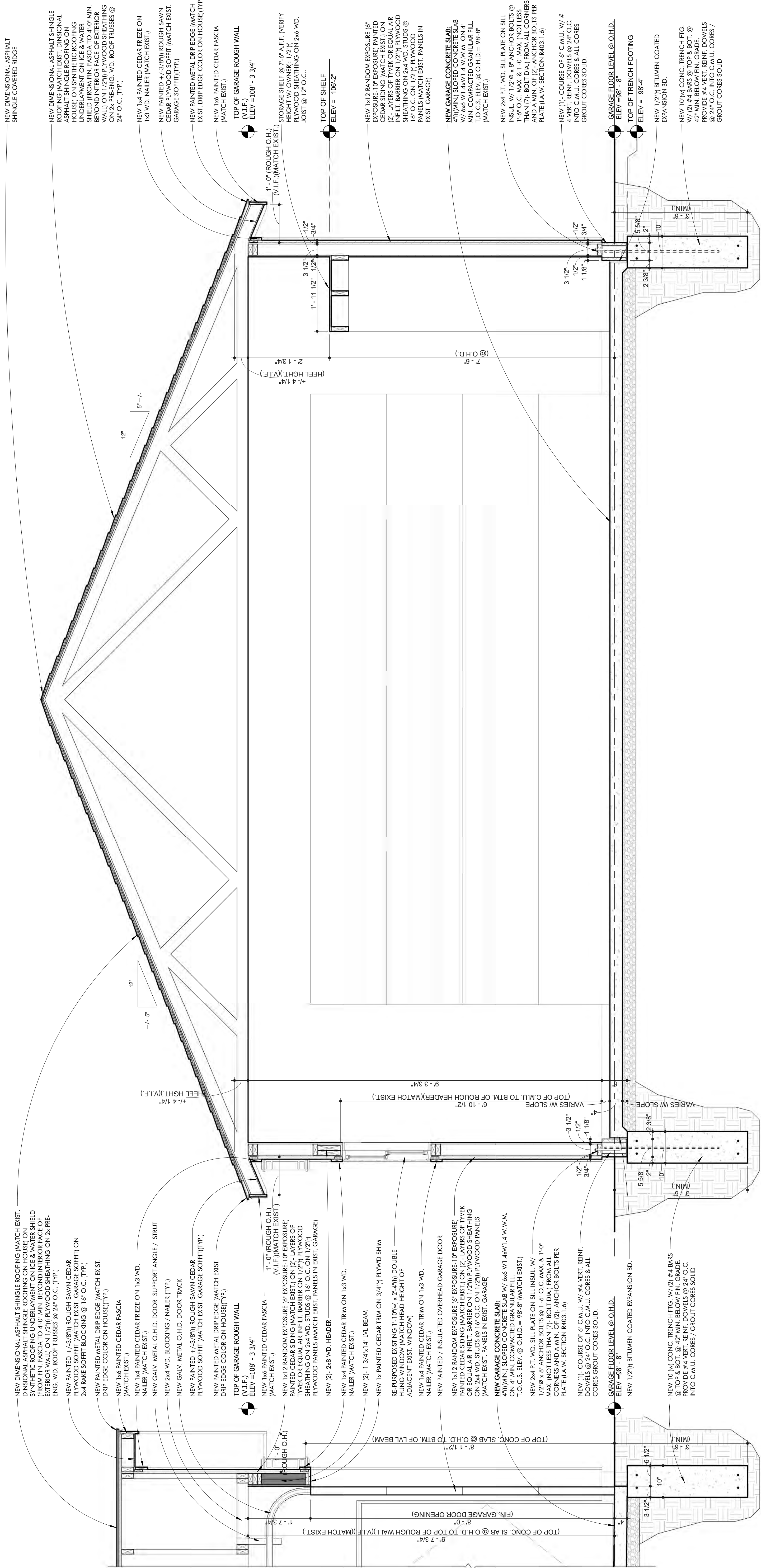
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WALL SECTIONS

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GW2501

SHEET NUMBER:

A5.1

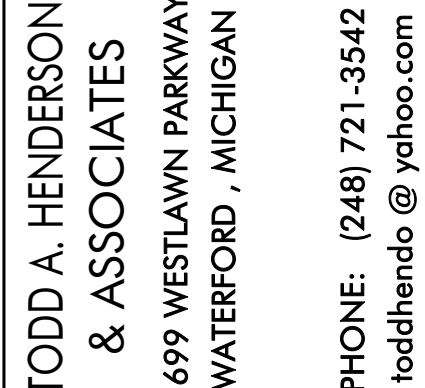


B WALL SECTION
A5.1 SCALE: 3/4" = 1'-0"

A **WALL SECTION**
A5.1 SCALE: 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"



DETACHED GARAGE ADDITION FOR:
THE GARY WHEELER RESIDENCE
6929 HAMMOND AVE SE
CALEDONIA, MICHIGAN

DETACHED GARAGE ADDITION FOR:

REVISIONS: 09/28/2025

PERMIT ISSUE

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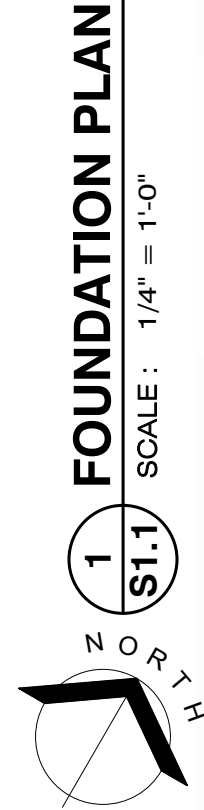
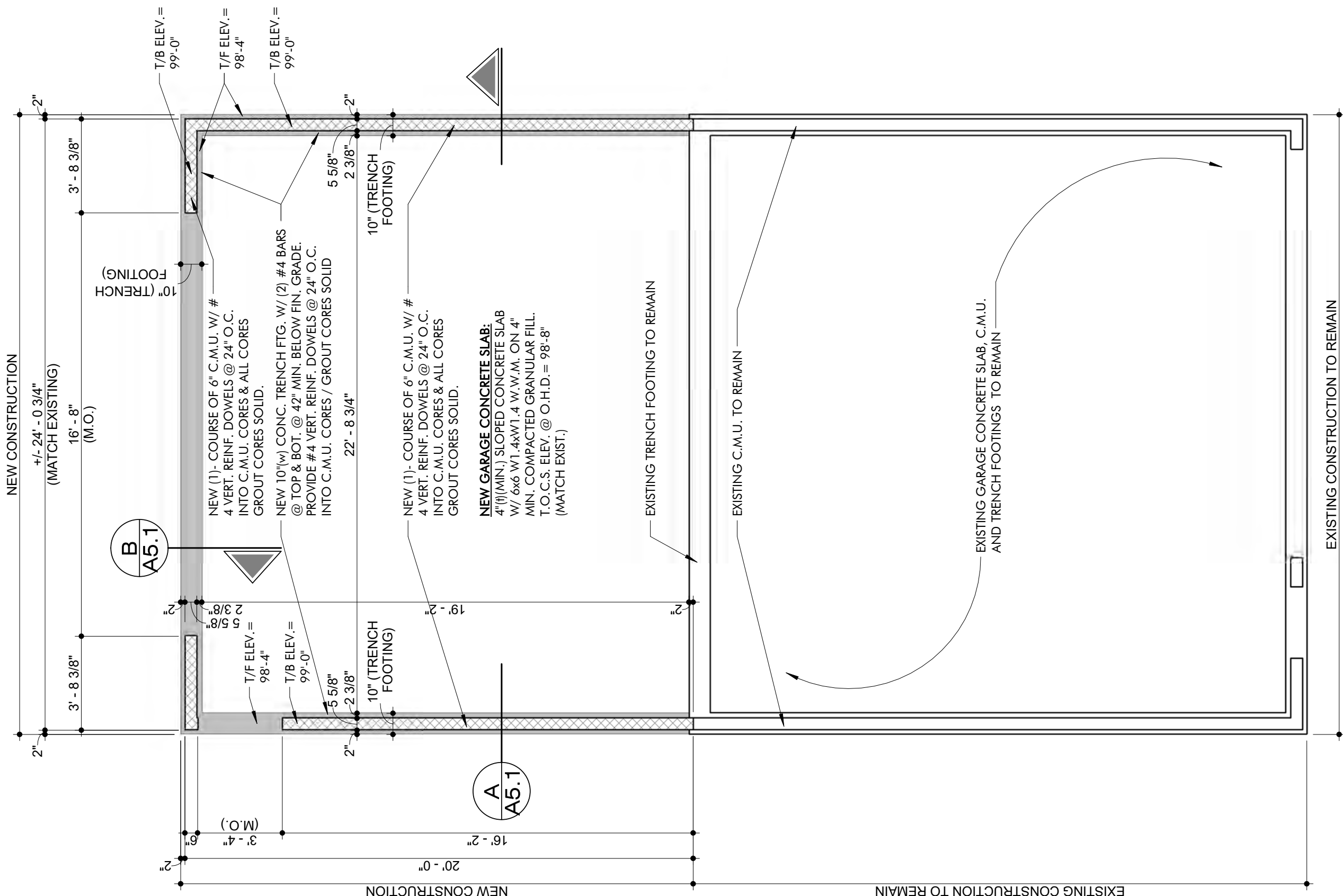
SHEET TITLE:
FOUNDATION PLAN /
ROOF FRAMING PLAN

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GW2501

SHEET NUMBER:

S1.1



TYPICAL TRENCH FOOTING

CONCRETE TRENCH FOOTINGS
12" (10") CONC. TRENCH FTG. (SEE FDTN. PLAN) W/ (2) #4 BARS @ TOP & BOT. @ 42" MIN.
PROVIDE #4 VERT. REIN. DOWELS @ 24" O.C. INTO C.M.U. CORES /
BELOW FIN. GRADE. PROVIDE #4 VERT. REIN. DOWELS @ 24" O.C. INTO C.M.U. CORES /
BELOW CORES. ALL TRENCH FOOTINGS ARE GRAPHICALLY INDICATED BY THE DARK
SHADED POCHES.

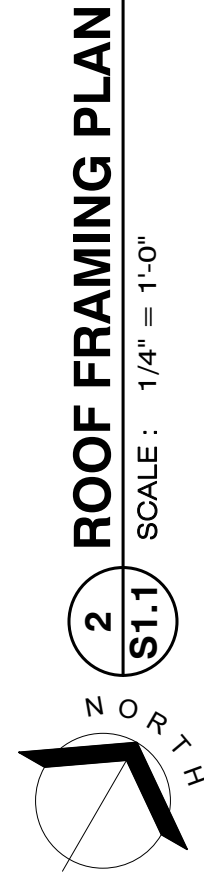
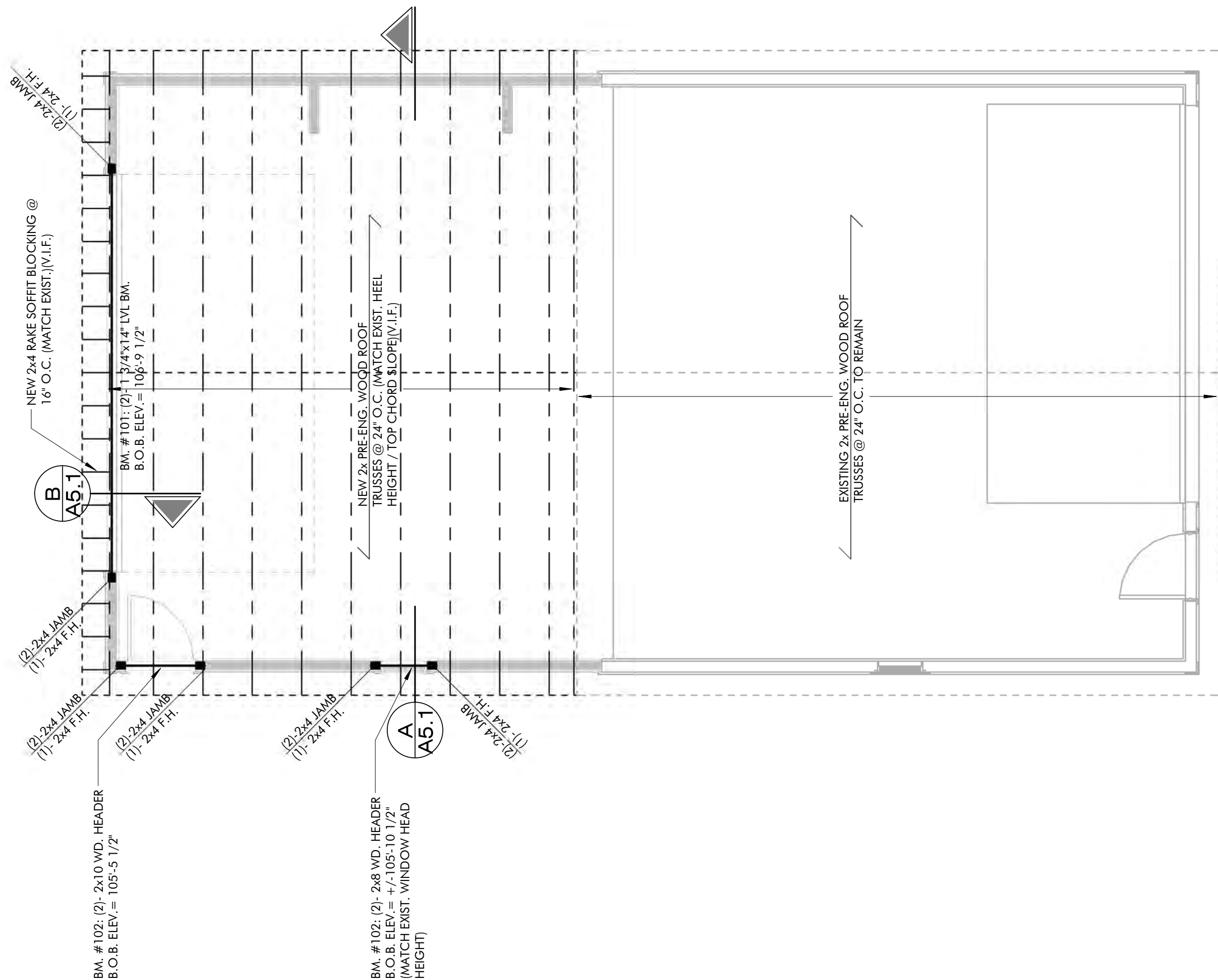
TYPICAL CONCRETE MASONRY UNIT REINFORCING

ABBREVIATIONS

- | | | |
|------------|---|------------------------------|
| B.O.B. | = | BOTTOM OF BEAM |
| R.O.J. | = | BOTTOM OF JOIST |
| L.1 W.P.L. | = | LEVEL 1 WOMANIZED PARALLAM |
| L.3 W.P.L. | = | LEVEL 3 WOMANIZED PARALLAM |
| L.V.L. | = | LAMINATED VENEER LUMBER |
| P.C. | = | PARALLAM COLUMN |
| T.O.B. | = | TOP OF BEAM |
| T.O.D. | = | TOP OF DECK (ROUGH SUBFLOOR) |
| T.O.J. | = | TOP OF JOIST |
| T.O.R. | = | TOP OF RAFTER |
| T.O.S. | = | TOP OF STEEL |
| WD. | = | WOOD |

GENERAL FOUNDATION PLAN NOTES:

- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. IF A DIMENSIONAL DISCREPANCY ARISES, NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL EXTERIOR DIMENSIONS FIGURED TO EXTERIOR FACE OF CONCRETE WALL UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COORDINATE ALL APPLICABLE TRADES TO ENSURE PROPER ROUTING OF DROPS, ETC. FOR H.V.A.C. ELECTRICAL PLUMBING, ETC.
- IF ANY QUESTIONS ARISE AS TO THE ARCHITECTURAL INTENT OF THESE DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASK SUCH QUESTIONS OF THE ARCHITECT AS THE ARCHITECT IS THE SOLE INTERPRETER OF THESE DOCUMENTS. IF NO SUCH QUESTIONS ARE ASKED, IT IS ASSUMED THAT THE ARCHITECTURAL INTENT OF THE DOCUMENTS IS AS SHOWN.
- FLOOR ELEVATION OF 100'-0" IS ESTABLISHED AT THE MAIN LEVEL TOP OF FINISHED FLOOR.
- FLOOR ELEVATION, NOTES ARE RELATIVE TO THE BUILDING AND NOT TO THE SITE.
- ALL FOUNDATION REINFORCING AND SIZING IS BASED ON 3,000 PSI SOIL BEARING CAPACITY.
- ALL FOUNDATION REINFORCING SHALL BE TIED TOGETHER AND GROUNDLED TO A GROUND ROD OR GROUND ANGLE.
- ALL CONCRETE COMPACTED FILL AS REQUIRED UNDER CONCRETE SLABS AND ON FOOTINGS SHALL BE TIED IN MAX. 6" LIFTS AT A TIME AND COMPACTED TO A MINIMUM 3,000 PSI BEFORE THE NEXT LIFT.



ROOF DESIGN LOADS

- * DEAD LOAD : ASPHALT SHINGLES : 3 PSF
1/2" CDX PLYWOOD : 2 PSF
STRUCTURAL FRAMING : 14 PSF

TOTAL DEAD LOAD:

• WIND LOAD:

ROOF DEFLECTION CRITERIA

- | | |
|-----------------------------------|---------|
| BEAMS : | L / 480 |
| LIVE LOAD DEFLECTION : | L / 360 |
| TOTAL LOAD DEFLECTION : | |
| | |
| BOTTOM CHORD & JOIST DEFLECTION : | L / 480 |
| TOTAL LOAD DEFLECTION : | |

STRUCTURAL NOTES

- SEE ELEVATIONS ON SHEETS A-1 AND/OR ROOF PLAN A-1 FOR ROOF SLOPES.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL APPLICABLE TRADES TO ENSURE WORKING CONDITIONS ARE MAINTAINED THROUGHOUT THE PROJECT. IT IS THE RESPONSIBILITY OF THE ARCHITECTURAL INTERPRETER OF THESE DOCUMENTS, IT IS NOT THE GENERAL CONTRACTORS RESPONSIBILITY TO ASK SUCH QUESTIONS OF THE ARCHITECT AS THE ARCHITECT IS THE SOLE INTERPRETER OF THESE DOCUMENTS. IF NO SUCH QUESTIONS ARE ASKED, IT IS ASSUMED THAT THE ARCHITECTURAL INTENT OF THE DRAWINGS HAS BEEN FULLY UNDERSTOOD BY THE GENERAL CONTRACTOR.
- A BASE ELEVATION OF 100.0' IS ESTABLISHED AT THE MAIN LEVEL TOP OF FINISH FLOOR INCLUDING, BUT NOT LIMITED TO, TRUSS LAYOUT PLANS, TRUSS PROFILES, AND TRUSS CONNECTIONS. THIS INFORMATION IS OBTAINED FROM ARCHITECT & GENERAL CONTRACTOR REVIEW PRIOR TO FABRICATION.
- ALL RAFTER, AND TRUSS HANGERS SHALL BE SPECIFIED AND PROVIDED BY LUMBER SUPPLIER. ALL LVL BEAMS WITH MORE THAN 30 IN'S IN WIDTH SHALL BE ADHERED TOGETHER USING 3/8" DIA. STEEL CLIPS OR CONSISTANT WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL LAG SCREWS @ 6" C. STAGGERED AT TOP & BOTTOM @ 5.5" ON CENTER.
- ALL HEADERS OVER WINDOWS AND DOORS IN LOAD BEARING WALLS NOT SPECIFIED ON EXISTING PLANS SHALL BE 2"x12" #2 W/ 4" X 2" 1/2" PLYWOOD / 2x6 BRICKING ON FOAM IN-RACE HIGH DENSITY URETHANE FOAM INSULATION FILLER ON INTERIOR SIDE OF WALL.
- ALL AVAILABLE BUILDING CORNERS AND AS INDICATED ON PLANS AS SHEAR WALLS PROVIDE 7/16" THICK STRUCTURAL GRADE PLYWOOD, USE 8d NAILS @ 3" @ 0' FOR EDGE NAILING AND 12" @ C. FOR THE FIELD. PROVIDE SOLID BLOCKWORK FOR NAILING AT ALL SHEATHING EDGES.
- IF ANY PARTS ARE PRE-TREATED (P.T.), LUMBER SHALL BE KILN DRIED AFTER THE PRESSURE TREATMENT PROCESS.